



PLANNING DEPARTMENT
Cumberland County

**Cumberland County
Subdivision and Land Development
Review Report**

Cumberland County Planning Department
310 Allen Road, Suite 101
Carlisle, PA 17013
Telephone: (717) 240-5362

Municipality:	Date Received:	Date Reviewed:	Reviewed By:	Plan Number:
South Newton Township	8/29/202	9/13/2022	SH	22-120
<i>Plan Title:</i>				
<i>Harlin N. Reiff</i>				
Plan Status:	<i>Plan Type:</i>			<i>Land Development Plan</i>
<i>Comments and Recommendations:</i>				

1. The proposed poultry operation will include 10,000 chickens (layer hens) for 11 months. The 200 feet setback requirement noted in the zoning data appears to apply. The 200' setback line should be shown on the plan (zoning 5.16.E.2 and SLDO 700.A.5).
2. General Note 4 indicates that dead chickens will be composted in the compost building. The disposal of dead animals on all farmland is prohibited. Dead animals must be disposed of by rendering (zoning 5.16.E.3.D)
3. The graphic scale should be accompanied by a written scale (SLDO 600.A.1.C).
4. The NPDES permit boundary (sheet 4) indicates that the property is owned by Allen and Emma W Leid. The ownership, tax PIN and recording instrument should be verified (SLDO 600.A.1.D).
5. It appears that there is a wetland present on the National Wetland Inventory maps. The applicant should verify the wetland statement (SLDO 600.A.7).
6. The plan narrative indicates that 2 poultry buildings are proposed. Sheets 3-4 indicate one proposed poultry building and one other building. The plan narrative should be clarified, or a second poultry building should be shown (SLDO 600.A.14).
7. The proposed shale driveway should include the required / provided sight distances and a clear sight triangle (SLDO 803.L and 803.R.5).
8. General Note 11 indicates that South Newton Township supervisors and Cumberland County officials have the right to access all drainage facilities. This access easement should be depicted on the plan (SLDO 808).
9. The survey monuments and markers should be described (SLDO 809).
10. The municipal boundary line should be labeled on the location map.
11. This property appears to be enrolled in the Cumberland County Clean and Green Program and may be subject to roll-back taxes. Contact the Cumberland County Tax Assessment Office for information.

12. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording** until this information is emailed to planningreviews@cumberlandcountypa.gov. Links to online file downloads are acceptable. Applicants are required to provide the following files:

- **Parcel boundaries**
- **Lot lines**
- **Building footprints**
- **Road rights-of-ways**
- **Edge of pavement**
- **Declaration of planned communities/condominiums documents (including amendments)**

LAND DEVELOPMENT PLAN

for

Poultry Operation for Harlen O. Reiff

South Newton Township

Cumberland County, Pennsylvania

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN

The application and plan are submitted with the free will and consent of Lawrence N. and Etta N. Reiff.

Lawrence N. Reiff
&
Etta N. Reiff
being duly affirmed, according to law, depose that we are the owners of record of the lands shown hereon being considered for land development approval, and we acknowledge the same to be our plan, and desire the same to be recorded as such according to law, and hereby dedicate all right-of-ways as shown to be dedicated.

Lawrence Reiff *Etta N. Reiff*
Lawrence N. Reiff Etta N. Reiff
AFFIDAVIT:
Commonwealth of Pennsylvania:
County of Cumberland) SS:
)

Sworn and subscribed to me this 27 day of August, 2022.

Commonwealth of Pennsylvania - Notary Seal
Adam R. Culkin, Notary Public
Franklin County
My commission expires August 9, 2025
Commission number 1403683
Member, Pennsylvania Association of Notaries

Adam R. Culkin
Notary Public

LANDOWNER STORMWATER MANAGEMENT ACKNOWLEDGMENT

I hereby acknowledge the stormwater management system to be a permanent fixture that can be altered or removed only after approval of a revised plan by the municipality.

August 27, 2022

Harlen O. Reiff

ENGINEER STORMWATER CERTIFICATION

I, *Jamie A. Maun, P.E.*, on this date 8/29/22, date of signature, Engineer
have reviewed and hereby certify that, to the best of my knowledge and judgement, the stormwater management plan meets all design standards and criteria of the South Newton Township Stormwater Management Ordinance.



CERTIFICATION OF ACCURACY

I hereby certify that, to the best of my knowledge, the plan shown hereon is true and correct to the accuracy required by the South Newton Twp. Subdivision and Land Development Ordinance.

August 27, 2022

Harlen O. Reiff
Surveyor

ZONING DATA

Zoned - (A) - Agricultural District
On-Lot Water and On-Lot Sewer
Building Setback Lines - Front = 50'
(for Dwellings) Side = 25'
Rear = 25'

Animal Building Setback for over 1000 = 200'
Waste Storage Setback for chickens = 200'
Number of Lots = 1
Units of Occupancy = 1
Density of Occupancy = 0.01 Units/Acre

Type of Sanitary Sewage Disposal
Existing Dwelling - On-lot Sewage
Proposed Poultry Barn - Ag Field Fertilizer

Type of Water Supply - Existing Well

Proposed Land use - Agricultural (A) District

Minimum Lot Size - 1.5 ac. residential use 5 ac. for all other purposes.

Minimum Lot Width - 200'

Minimum Lot Depth - 200'

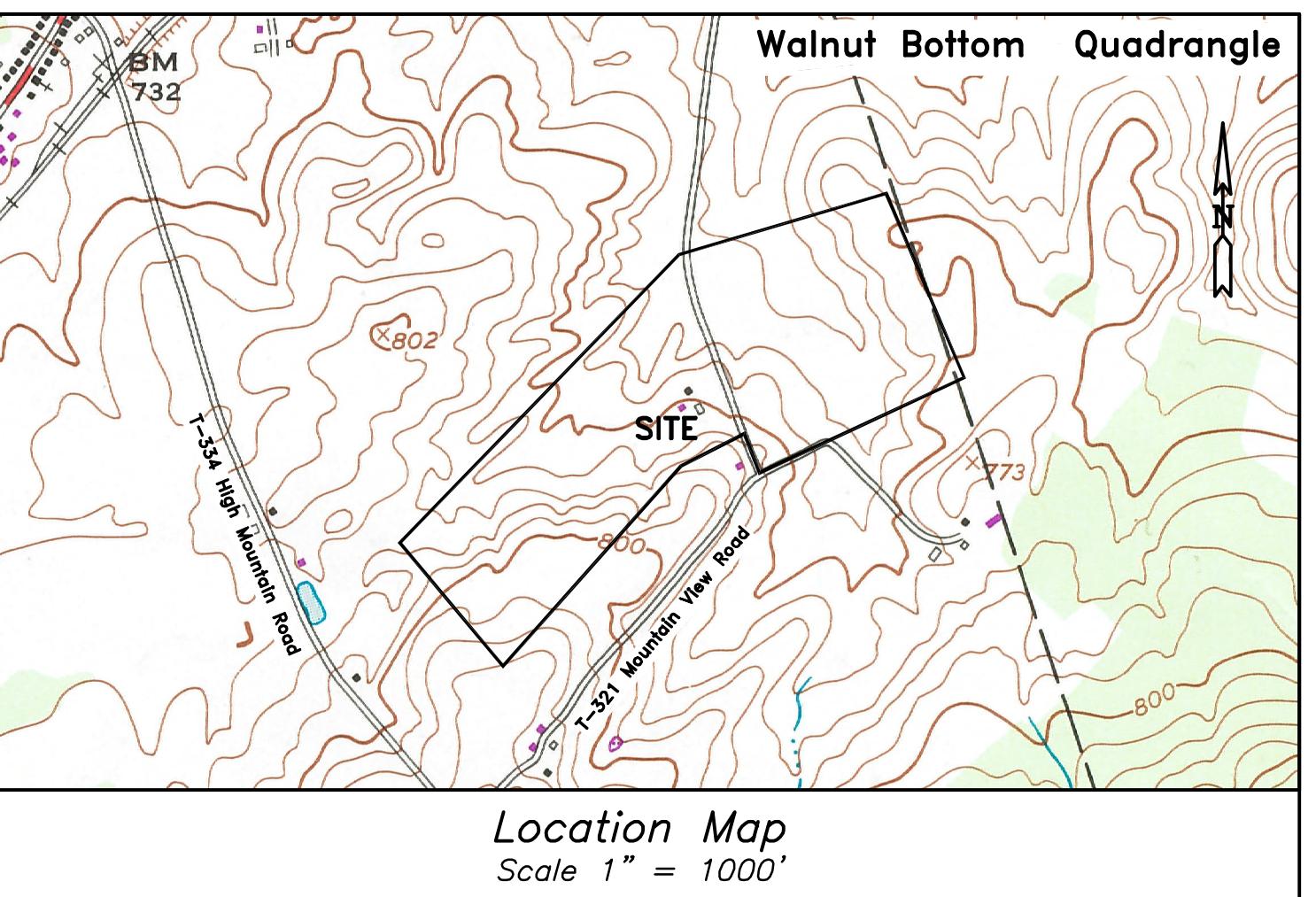
Minimum Habitable Floor Area - 900 Sq. Ft.

Minimum Open Space - 80%

Minimum Habitable Floor Area - 900 Sq. Ft.

Maximum Building Height - 35'

Maximum Lot Coverage - 20%



OWNER/DEVELOPER

Lawrence N. and Etta N. Reiff

ADDRESS

240 Mountain View Road
Shippensburg, PA 17257
717-477-0442

SITE ADDRESS
240 Mountain View Road
Shippensburg, PA 17257
717-477-0442

CUMBERLAND COUNTY REVIEW

Reviewed by the Cumberland Co. Planning Department
this ____ day of _____.
Director of Planning _____

Approval recommended by the South Newton Township Planning Commission
this ____ day of _____.

Approved by the South Newton Township Supervisors
this ____ day of _____.

UTILITIES			
Penelec Electric DuBois, PA. Phone: (800) 545-7741			
Centurylink 1532 Commerce Avenue Carlisle, PA 17015 Phone: (717) 243-6931			

WETLANDS			
No wetlands were found in the area of development and excavation according to the site investigation by Environmental Design, Inc.. Agent Ed VanBlargan Phone: 717-991-8980.			

SITE DATA			
41-12-0326-047A			

Existing use:	Agricultural: Crop Production.
Proposed use:	Agricultural: Poultry Operation, Crop Production.
Number of Lots:	1
Gross Lot Area (per Deed):	85± acres
Proposed Building Height:	22' maximum
Proposed Water Supply:	Private Well
Existing Building Coverage:	0.19 %
Existing Impervious Coverage:	0.67 %
Proposed Building Coverage:	0.58 %
Proposed Impervious Coverage:	2.24 %
Minimum Front Yard:	50' (from right of way)
Minimum Side Yard:	25'
Minimum Rear Yard:	25'

PROPOSED BUILDING AREA			
(2) 42' x 40' Poultry Barn	16,968 Square Feet		
10' x 18' Compost Building	180 Square Feet		
Total Proposed Building Area	17,148 Square Feet		

POULTRY OPERATION DATA			
Operator:	This Operation will be operated by the Owner.		
Employees/Operator:	1		
Operational Traffic:	Daily Average = 1 Truck per Day		
Customer traffic:	0		

DRIVEWAY PERMIT			
A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945, P.L. 1242, No. 128, known as the "State Highway Law", before driveway access to a State Highway is permitted. Access to the State Highway shall be only as authorized by a Highway Occupancy Permit.			
11. South Newton Township supervisors and Cumberland County officials and their agents or employees shall have the right of access to any and all drainage facilities.			
12. No areas are being dedicated to South Newton Township by this Land Development Plan.			
13. No subdivision of land is being proposed by this Land Development Plan.			
14. No public or private sanitary sewer facilities are being proposed by this Land Development Plan.			

E&S CONTROL CONTROL/NPDES STORMWATER PERMIT

This project will submit an E&S Control and NPDES Stormwater Permit application for review and approval by the Cumberland County Conservation District.

SOILS INFORMATION			
SOILS	SLOPE (1%)	SOL TYPE	HYDRC
HUNTINGTON SILT LOAM	HUA	0 to 5	B PARTIALLY FROST ACTION SOILABLE BEDROCK LOW STRENGTH UNSTABLE EXCAVATION WALLS Piping
MURRILL CHANNERY LOAM	MUB	3 to 8	PARTIALLY FROST ACTION SOILABLE BEDROCK LOW STRENGTH UNSTABLE EXCAVATION WALLS Slope
MURRILL CHANNERY LOAM	MUC	8 to 15	PARTIALLY FROST ACTION SOILABLE BEDROCK LOW STRENGTH UNSTABLE EXCAVATION WALLS Piping

Soils Limitations and Resolutions

DEPTH TO SATURATED ZONE - A PUMPED WATER FILTER BAG SHALL BE USED TO REMOVE ANY WATER FROM EXCAVATION DURING CONSTRUCTION.

DEPTH TO THIN CEMENTED PAN - NATURALLY COMPACTED SOILS SHALL BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH A SUITABLE FILM MATERIAL.

DEPTH TO THICK CEMENTED PAN - NATURALLY COMPACTED SOILS SHALL BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH A SUITABLE FILM MATERIAL.

DUSTY - DUSTY SOILS DURING CONSTRUCTION SHALL BE WATERED DOWN TO ELIMINATE DUST LEAVING THE SITE.

FLOODING - AREAS WHERE FLOODING OCCURS DURING CONSTRUCTION SHALL BE Dewatered BY A PUMPED WATER FILTER BAG.

FROST ACTION - EXCAVATE CUTS TO BELOW FROST LINE.

GRAVEL CONTENT - SOILS WITH A HIGH GRAVEL CONTENT SHALL BE REMOVED AND REPLACED WITH A SUITABLE FILM MATERIAL.

LOW STRENGTH - SOILS TO BE UNDER STRUCTURES AND ROADWAYS WITH LOW STRENGTH SHALL BE REPLACED WITH A SUITABLE FILM MATERIAL AS DIRECTED BY A QUALIFIED GEOTECHNICAL ENGINEER.

PIPEING - SOILS WITH THE POTENTIAL FOR PIPING SHALL NOT BE USED FOR BASIN BERMS. SOILS SHALL BE REPLACED WITH A SUITABLE FILM MATERIAL.

SLOPE - ON ALL SLOPES GREATER THAN 3:1 TURF REINFORCEMENT MATTING SHALL BE USED.

SOLUBLE BEDROCK - SOLUBLE BEDROCK IS PRONE TO SICKHOLE FORMATION. AVOID INFILTRATION IN THESE AREAS. IF SINKHOLES BIFORM AND ISSUE ON SITE DURING CONSTRUCTION STOP WORK AND CONSULT A GEO-TECHNICAL ENGINEER AND/OR A GEOLOGIST ON HOW TO BEST WORK WITH THE SITE.

UNSTABLE EXCAVATION WALLS - WHEN EXCAVATING IN UNSTABLE SOILS SPECIAL PRECAUTIONS SHALL BE TAKEN TO PREVENT EXCAVATION WALLS FROM COLLAPSING SUCH AS TERRACING EXCAVATION OR USING A TRENCH BOX.

WATERFALLS - WATERFALLS ARE PRONE TO SICKHOLE FORMATION. AVOID INFILTRATION IN THESE AREAS. IF SINKHOLES BIFORM AND ISSUE ON SITE DURING CONSTRUCTION STOP WORK AND CONSULT A GEO-TECHNICAL ENGINEER AND/OR A GEOLOGIST ON HOW TO BEST WORK WITH THE SITE.

WIND EROSION - WIND EROSION IS PRONE TO SICKHOLE FORMATION. AVOID INFILTRATION IN THESE AREAS. IF SINKHOLES BIFORM AND ISSUE ON SITE DURING CONSTRUCTION STOP WORK AND CONSULT A GEO-TECHNICAL ENGINEER AND/OR A GEOLOGIST ON HOW TO BEST WORK WITH THE SITE.

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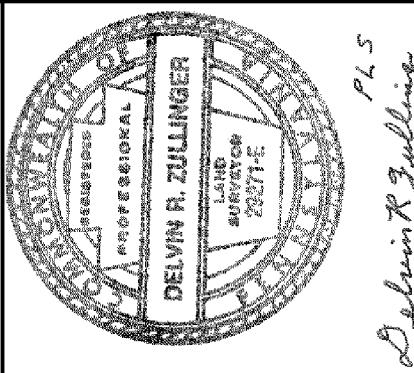
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Curfman & Zullinger
Surveying Inc.
Surveying & Subdivision & Stake out
556 Lincoln Way East
Chambersburg, PA 17201
Phone (717-261-0749)
Fax (717-261-1705)

Scale
As Shown
Date
03/23/22
Drawn By
B.B.
Composed
D.R.
Checked
D.R.
File No.
3087-2

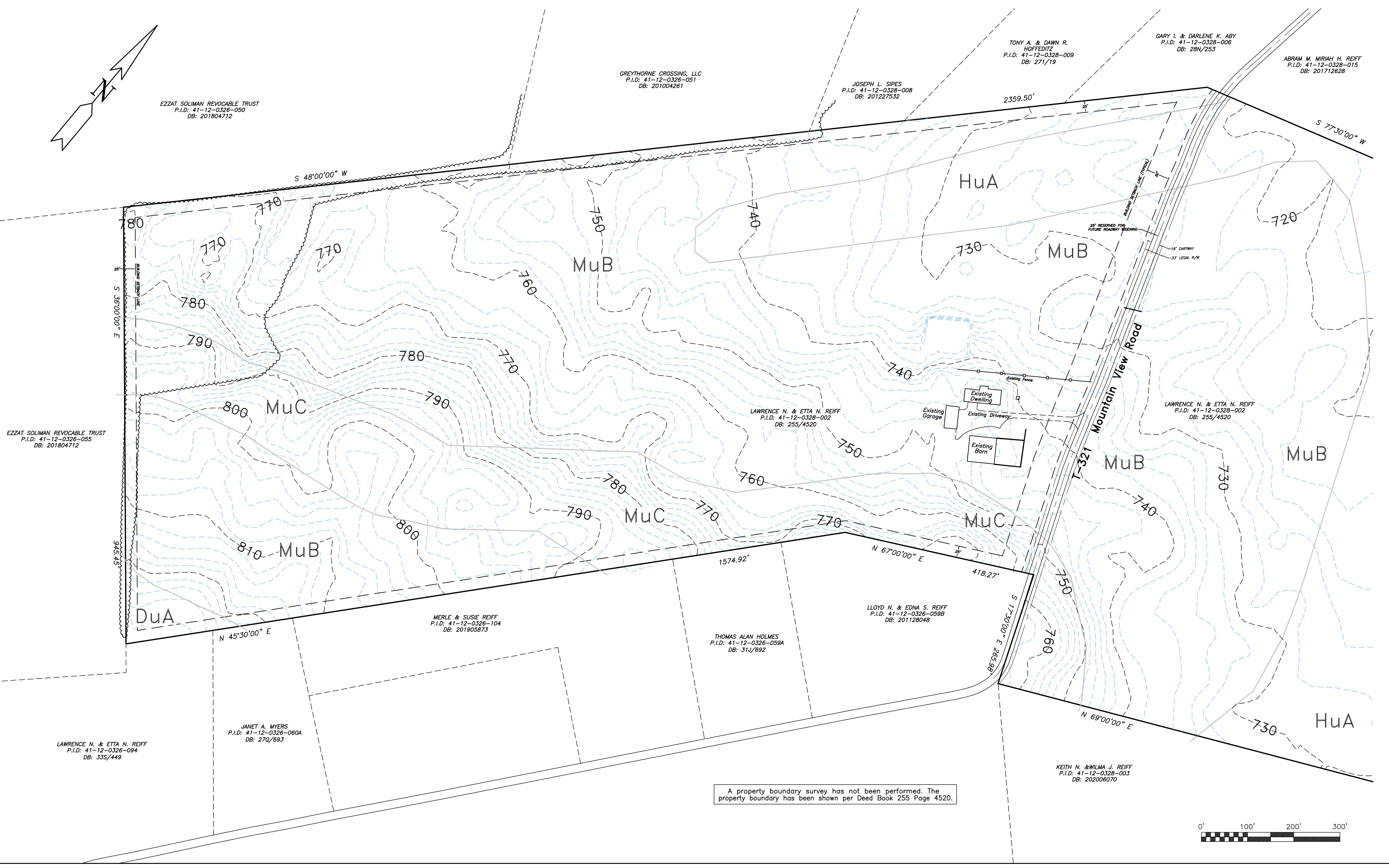
Sheet 2 of 7 Sheets

PRELIMINARY / FINAL
SITE PLAN (EXISTING CONDITIONS)
STAKE IN
SOUTH NEWTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

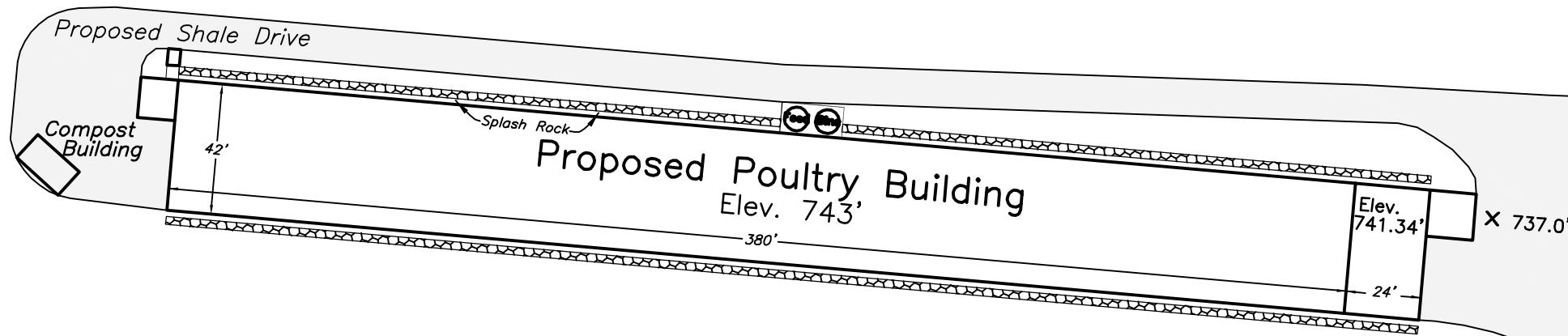
LAWRENCE N. REIFF
&
ETTA N. REIFF
(OWNERS)
240 Mountain View Road
Shippensburg, PA 17257
717-277-0442

74.5
D. L. Zullinger

A property boundary survey has not been performed. The
property boundary has been shown per Deed Book 255 Page 4520.



GREYTHORNE CROSSING, LLC
P.I.D: 41-12-0326-051
DB: 201004261



LAWRENCE N. & ETTA N. REIFF
P.I.D: 41-12-0328-002
DB: 255/4520

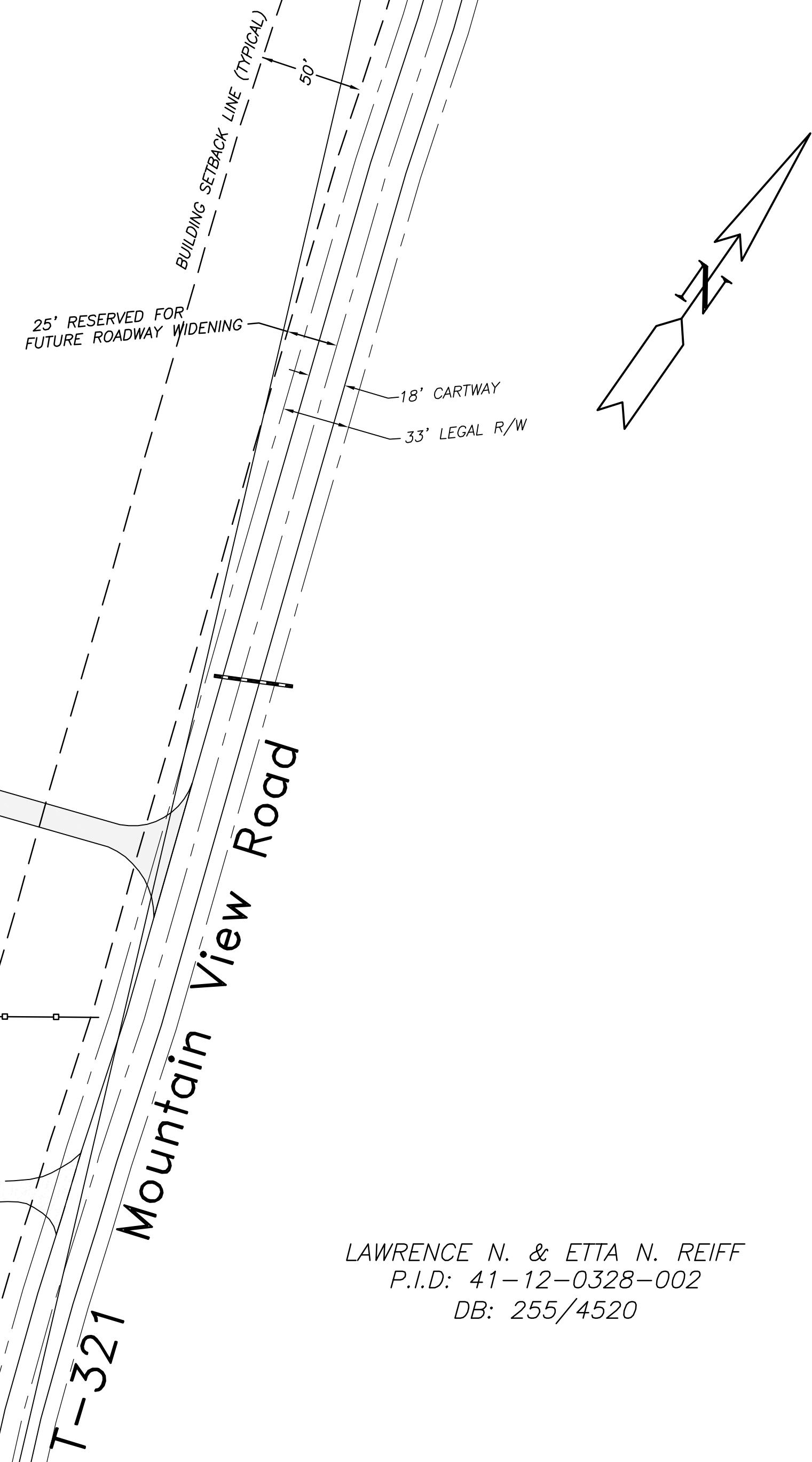
MERLE & SUSIE REIFF
P.I.D: 41-12-0326-104
DB: 201905873

THOMAS ALAN HOLMES
P.I.D: 41-12-0326-059A
DB: 31J/692

LLOYD N. & EDNA S. REIFF
P.I.D: 41-12-0326-059B
DB: 201128048

N 67°00'00" E
418.27'

S 77°30'00" E
265.6'



LAWRENCE N. & ETTA N. REIFF
P.I.D: 41-12-0328-002
DB: 255/4520

0' 50' 100' 150'

Sheet 3 of 7 Sheets
LAWRENCE N. REIFF & ETTA N. REIFF (OWNERS)
PRELIMINARY / FINAL SITE PLAN (PROPOSED IMPROVEMENTS)
STAKE IN SOUTH NEWTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA
No. Date Revision
3087-3

Curfman & Zullinger Surveying Inc.	Surveying & Subdivision & Stake out
DELVIN R. ZULLINGER Supt. of Survey 556 Lincoln Way East Chambersburg, PA 17201 Phone (717-261-0749) Fax (717-261-1705)	556 Lincoln Way East Chambersburg, PA 17201 Phone (717-261-0749) Fax (717-261-1705)
Scale As Shown Date 03/23/22 Drawn By Composed By Checked By File No. 3087-3	Scale As Shown Date 03/23/22 Drawn By Composed By Checked By File No. 3087-3

