

PLANNING DEPARTMENT

C u m b e r l a n d C o u n t y

**Cumberland County
Subdivision and Land Development
Review Report**

Cumberland County Planning Department
310 Allen Road, Suite 101
Carlisle, PA 17013
Telephone: (717) 240-5362

Municipality:	Date Received:	Date Reviewed:	Reviewed By:	Plan Number:
South Newton Township	8/29/2022	9/13/2022	SH	22-120
Plan Title:				
Harlin N. Reiff				
Plan Status:		Plan Type:		
Preliminary/Final		Land Development Plan		
Comments and Recommendations:				

1. The proposed poultry operation will include 10,000 chickens (layer hens) for 11 months. The 200 feet setback requirement noted in the zoning data appears to apply. The 200' setback line should be shown on the plan (zoning 5.16.E.2 and SLDO 700.A.5).
2. General Note 4 indicates that dead chickens will be composted in the compost building. The disposal of dead animals on all farmland is prohibited. Dead animals must be disposed of by rendering (zoning 5.16.E.3.D)
3. The graphic scale should be accompanied by a written scale (SLDO 600.A.1.C).
4. The NPDES permit boundary (sheet 4) indicates that the property is owned by Allen and Emma W Leid. The ownership, tax PIN and recording instrument should be verified (SLDO 600.A.1.D).
5. It appears that there is a wetland present on the National Wetland Inventory maps. The applicant should verify the wetland statement (SLDO 600.A.7).
6. The plan narrative indicates that 2 poultry buildings are proposed. Sheets 3-4 indicate one proposed poultry building and one other building. The plan narrative should be clarified, or a second poultry building should be shown (SLDO 600.A.14).
7. The proposed shale driveway should include the required / provided sight distances and a clear sight triangle (SLDO 803.L and 803.R.5).
8. General Note 11 indicates that South Newton Township supervisors and Cumberland County officials have the right to access all drainage facilities. This access easement should be depicted on the plan (SLDO 808).
9. The survey monuments and markers should be described (SLDO 809).
10. The municipal boundary line should be labeled on the location map.
11. This property appears to be enrolled in the Cumberland County Clean and Green Program and may be subject to roll-back taxes. Contact the Cumberland County Tax Assessment Office for information.

12. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording** until this information is emailed to planningreviews@cumberlandcountypa.gov. Links to online file downloads are acceptable. Applicants are required to provide the following files:

- **Parcel boundaries**
- **Lot lines**
- **Building footprints**
- **Road rights-of-ways**
- **Edge of pavement**
- **Declaration of planned communities/condominiums documents (including amendments)**

LAND DEVELOPMENT PLAN

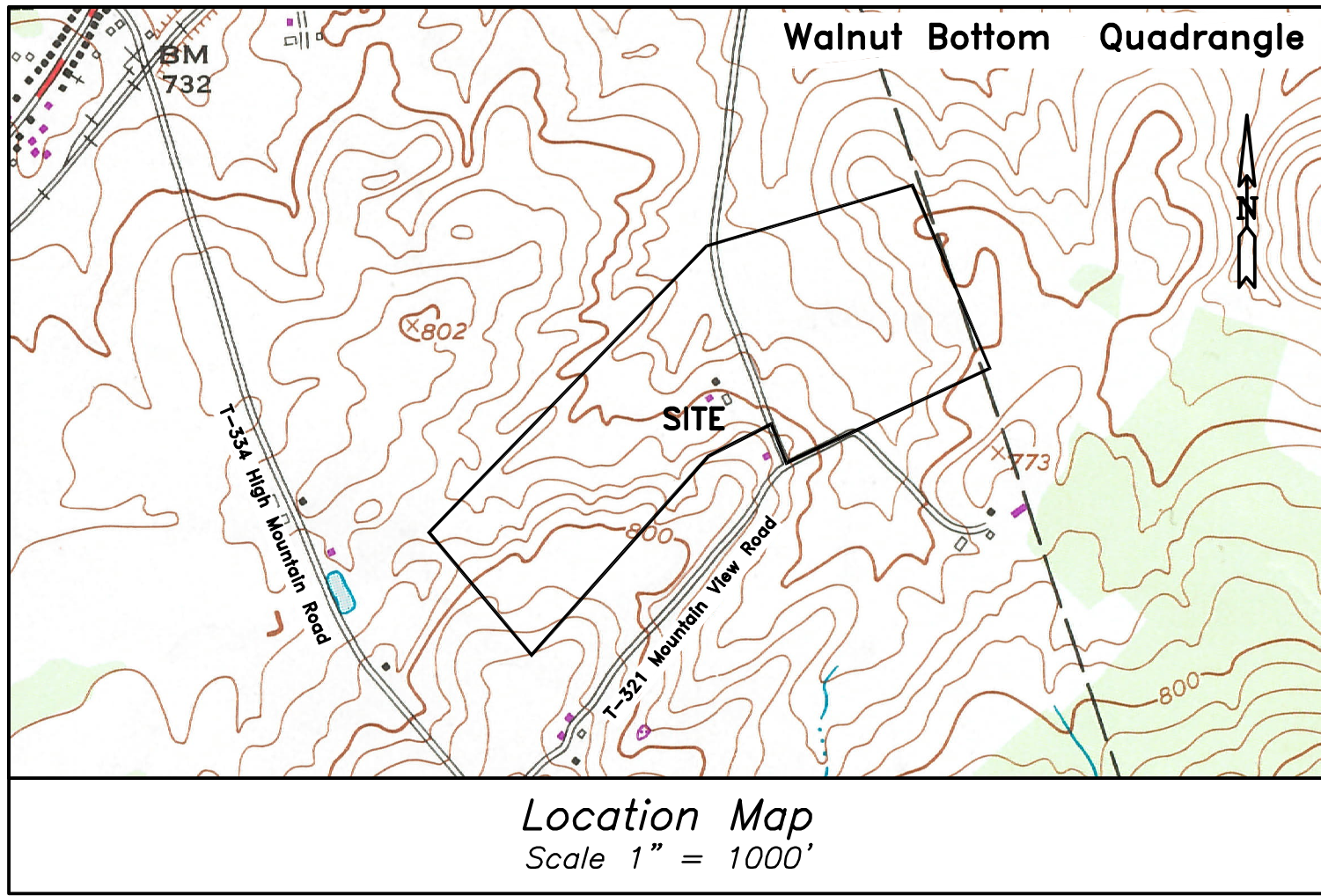
for

Poultry Operation for Harlen O. Reiff

South Newton Township

Cumberland County, Pennsylvania

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN	
The application and plan are submitted with the free will and consent OF Lawrence N. and Etta N. Reiff.	
Lawrence N. Reiff & Etta N. Reiff I, _____, being duly affirmed, according to law, depose that we are the owners of record of the lands shown hereon being considered for land development approval, and we acknowledge the same to be our plan, and desire the same to be recorded as such according to law, and hereby dedicate all right-of-ways as shown to be dedicated.	
Lawrence N. Reiff	Etta N. Reiff
AFFIDAVIT: Commonwealth of Pennsylvania;} County of Cumberland } SS:	
Sworn and subscribed to me this <u>27</u> day of <u>August</u> , 2022.	
Commonwealth of Pennsylvania - Notary Seal Adam R. Culler, Notary Public Franklin County My commission expires August 9, 2025 Commission number 1403663	Adam R. Culler Notary Public



LANDOWNER STORMWATER MANAGEMENT ACKNOWLEDGMENT	
I hereby acknowledge the stormwater management system to be a permanent fixture that can be altered or removed only after approval of a revised plan by the municipality.	
August 27, 2022	Harlen O. Reiff

OWNER/DEVELOPER	
Lawrence N. and Etta N. Reiff	
ADDRESS	
OWNERS ADDRESS 240 Mountain View Road Shippensburg, PA 17257 717-477-0442	SITE ADDRESS 240 Mountain View Road Shippensburg, PA 17257 717-477-0442

ENGINEER STORMWATER CERTIFICATION	
I, <u>James A. Maun, P.E.</u> , on this date <u>8/29/22</u> , Engineer, date of signature have reviewed and hereby certify that, to the best of my knowledge and judgement, the stormwater management plan meets all design standards and criteria of the South Newton Township Stormwater Management Ordinance.	

CERTIFICATION OF ACCURACY	
I hereby certify that, to the best of my knowledge, the plan shown hereon is true and correct to the accuracy required by the South Newton Twp. Subdivision and Land Development Ordinance.	
August 27, 2022	Robert J. Zullinger, P.L.S.

ZONING DATA	
Zoned - (A) - Agricultural District On-Lot Water and On-Lot Sewer Building Setback Lines - Front = 50' (for Dwellings) Side = 25' Rear = 25'	
Animal Building Setback } over 1000 = 200' Waste Storage Setback } chickens = 200' Number of Lots = 1 Units of Occupancy = 1 Density of Occupancy = 0.01 Units/Acre	
Type of Sanitary Sewage Disposal Existing Dwelling - On-lot Sewer Proposed Poultry Barn - Ag Field Fertilizer	
Type of Water Supply - Existing Well	
Proposed Land use - Agricultural (A) District	
Minimum Lot Size - 1.5 ac. residential use 5 ac. for all other purposes. Minimum Lot Width - 200' Minimum Lot Depth - 200' Minimum Habitable Floor Area - 900 Sq. Ft. Minimum Open Space - 80X Minimum Habitable Floor Area - 900 Sq. Ft. Maximum Building Height - 35' Maximum Lot Coverage - 20%	

AGRICULTURAL NUISANCE DISCLAIMER
THE LAND DEPICTED ON THIS PLAN MAY BE LOCATED ADJACENT TO OR BE INVOLVED IN A NORMAL AGRICULTURAL OPERATION AS DEFINED BY PENNSYLVANIA ACT 133 OF 1992, AS AMENDED, "THE RIGHT TO FARM LAW". IF YOU PURCHASE LAND THAT IS DEPICTED ON THIS PLAN AND SAID LANDS ARE LOCATED OR INVOLVED AS DESCRIBED ABOVE, YOU MAY BE PROHIBITED FROM FILING A NUISANCE ACTION AGAINST THE OPERATIONS OF A NORMAL AGRICULTURAL OPERATION. IN ADDITION, YOU MAY BE SUBJECT TO INCONVENIENCE, DISCOMFORT AND THE POSSIBILITY OF INJURY TO PROPERTY AND HEALTH ARISING FROM NORMAL AND ACCEPTED AGRICULTURAL PRACTICES AND OPERATIONS, INCLUDING, BUT NOT LIMITED TO, NOISE, DUST, ODOR, THE OPERATION OF MACHINERY OF ANY KIND INCLUDING AIRCRAFT, THE STORAGE AND DISPOSAL OF MANURE, AND THE APPLICATION OF FERTILIZERS, SOIL AMENDMENTS, HERBICIDES AND PESTICIDES.

NON-BUILDING WAIVER
"As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of residential agriculture use. No portion of the property/subdivision has been approved by South Newton township (Municipality) or the Department of Environmental Protection for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et. seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, of South Newton Township (Municipality), which is charged with administering the Sewage Facilities Act to determine what sewage facility planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

Status of the Property and Existing Improvements
The property on which the regulated activity is proposed (was not) created by a subdivision of land that occurred after the effective date of the South Newton Township Stormwater Management Ordinance, Ordinance No. 2011-1. Existing improvements on the property (were not) constructed as part of a SWM site plan approved by South Newton Township after the effective date of the South Newton Township Stormwater Management Ordinance, Ordinance No. 2011-1.

WAIVER REQUEST	APPROVED	DISAPPROVED	DATE
Preliminary Plan SECTION 503.A			
Maximum Plan Scale SECTION 600.A SECTION 700.A			

SOURCE OF TITLE
Cumberland County Deed Book 255 Page 4520 PIN: 41-12-0328-002

A property boundary survey has not been performed. The property boundary has been shown per deed plot Deed Book 255 Page 4520. Also information from adjoining deeds and tax mapping.

UTILITIES	
Penelec Electric DuBoise, Pa. Phone: (800) 545-7741	
Centurylink 1532 Commerce Avenue Carlisle, PA 17015 Phone: (717) 243-6931	
SITE DATA	
41-12-0326-047A	
Existing use:	Agricultural: Crop Production.
Proposed use:	Agricultural: Poultry Operation, Crop Production.
Number of Lots:	1
Gross Lot Area (per Deed):	85± acres
Proposed Building Height:	22' maximum
Proposed Water Supply:	Private Well
Existing Building Coverage:	0.19 %
Existing Impervious Coverage:	0.67 %
Proposed Building Coverage:	0.58 %
Proposed Impervious Coverage:	2.24 %
Minimum Front Yard:	50' (from right of way)
Minimum Side Yard:	25'
Minimum Rear Yard:	25'

PROPOSED BUILDING AREA	
(2) 42' X 404' Poultry Barn	16,968 Square Feet
10' x 18' Compost Building	180 Square Feet
Total Proposed Building Area	17,148 Square Feet

POULTRY OPERATION DATA	
Operator:	This Operation will be operated by the Owner.
Employees/Operator:	1
Operational Traffic:	Daily Average = 1 Truck per Day
Customer traffic:	0

DRIVEWAY PERMIT	
A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945, P.L. 1242, No. 426, known as the "State Highway Law", before driveway access to a State Highway is permitted. Access to the State Highway shall be only as authorized by a Highway Occupancy Permit.	

E&S CONTROL CONTROL/NPDES STORMWATER PERMIT
This project will submit an E&S Control and NPDES Stormwater Permit application for review and approval by the Cumberland County Conservation District.

SOILS INFORMATION					
SITES	SLOPE (%)	SOIL TYPE	TYPE	LIMITATIONS	
HUNTINGTON SILT LOAM	HUA	0 to 5	B	PARTIALLY	FLOODING DEPTH TO SATURATED ZONE DUSTY SOLUBLE BEDROCK LOW STRENGTH UNSTABLE EXCAVATION WALLS GRAVEL CONTENT LOW EXCHANGE CAPACITY DUSTY LOW STRENGTH SOLUBLE BEDROCK FROST ACTION DEPTH TO THICK CEMENTED PAN DEPTH TO SATURATED ZONE DEPTH TO THIN CEMENTED PAN UNSTABLE EXCAVATION WALLS SLOPE PIPING
MURRILL CHANNERY LOAM	MUB	3 to 8	B	PARTIALLY	FLOODING DEPTH TO SATURATED ZONE DUSTY SOLUBLE BEDROCK LOW STRENGTH UNSTABLE EXCAVATION WALLS GRAVEL CONTENT LOW EXCHANGE CAPACITY DUSTY LOW STRENGTH SOLUBLE BEDROCK FROST ACTION DEPTH TO THICK CEMENTED PAN DEPTH TO SATURATED ZONE DEPTH TO THIN CEMENTED PAN UNSTABLE EXCAVATION WALLS SLOPE PIPING
MURRILL CHANNERY LOAM	MUC	8 TO 15	B	PARTIALLY	FLOODING DEPTH TO SATURATED ZONE DUSTY SOLUBLE BEDROCK LOW STRENGTH UNSTABLE EXCAVATION WALLS GRAVEL CONTENT LOW EXCHANGE CAPACITY DUSTY LOW STRENGTH SOLUBLE BEDROCK FROST ACTION DEPTH TO THICK CEMENTED PAN DEPTH TO SATURATED ZONE DEPTH TO THIN CEMENTED PAN UNSTABLE EXCAVATION WALLS SLOPE PIPING

Soils Limitations and Resolutions	
DEPTH TO SATURATED ZONE - A PUMPED WATER FILTER BAG SHALL BE USED TO REMOVE ANY WATER FROM EXCAVATION DURING CONSTRUCTION.	
DEPTH TO THIN CEMENTED PAN - NATURALLY COMPACTED SOILS SHALL BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH A SUITABLE FILL MATERIAL.	
DEPTH TO THICK CEMENTED PAN - NATURALLY COMPACTED SOILS SHALL BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH A SUITABLE FILL MATERIAL.	
DUSTY - DUSTY SOILS DURING CONSTRUCTION SHALL BE WATERED DOWN TO ELIMINATE DUST LEAVING THE SITE.	
FLOODING - AREAS WHERE FLOODING OCCURS DURING CONSTRUCTION SHALL BE DEWATERED BY A PUMPED WATER FILTER BAG.	
FROST ACTION - EXCAVATE CUTS TO BELOW FROST LINE.	
GRAVEL CONTENT - SOILS WITH A HIGH GRAVEL CONTENT SHALL BE REMOVED AND REPLACED WITH A SUITABLE FILL MATERIAL.	
LOW STRENGTH - SOILS TO BE UNDER STRUCTURES AND ROADWAYS WITH LOW STRENGTH SHALL BE REPLACED WITH A SUITABLE FILL MATERIAL AS DIRECTED BY A QUALIFIED GEOTECHNICAL ENGINEER.	
LOW EXCHANGE CAPACITY - SOILS WITH LOW EXCHANGE CAPACITY SHALL BE AMENDED WITH SOIL AMENDMENTS TO INCREASE EXCHANGE, ESPECIALLY WHEN BEING USED FOR INFILTRATION BMPs.	
PIPING - SOILS WITH THE POTENTIAL FOR PIPING SHALL BE NOT BE USED FOR BASIN BERMS. SOILS SHALL BE REPLACED WITH A SUITABLE FILL MATERIAL.	
SLOPE - ON ALL SLOPES GREATER THAN 3:1 A TURF REINFORCEMENT MATTING SHALL BE USED.	
SOLUBLE BEDROCK - SOLUBLE BEDROCK IS PRONE TO SINKHOLE FORMATION. AVOID INFILTRATION IN THESE AREAS. IF SINKHOLES BECOME AND ISSUE ON SITE DURING CONSTRUCTION STOP WORK AND CONSULT A GEO-TECHNICAL ENGINEER AND/OR A GEOLOGIST ON HOW TO BEST WORK WITH THE SITE.	
UNSTABLE EXCAVATION WALLS - WHEN EXCAVATING IN UNSTABLE SOILS SPECIAL PRECAUTIONS SHALL BE USED TO PREVENT EXCAVATION WALLS FROM COLLAPSING SUCH AS TERRACING EXCAVATION OR USING A TRENCH BOX.	

FLOODPLAIN
The 100-Year Flood Plain is taken from FEMA FIRM (Flood Insurance Rate Map), Community Canals 42041C360E March 16, 2009, March 16, 2009). No Flood Plain is located within the project site boundary.
WETLANDS
No wetlands were found in the area of development and excavation according to the site investigation by Environmental Design, Inc., Agent Ed VanBlargen Phone: 717-991-8990.

PLAN NARRATIVE
Harlen Reiff rents this property from his father, Lawrence N. Reiff. Harlen Reiff is proposing to construct 2 poultry buildings on the property in South Newton Township, Cumberland County, PA. See Proposed Building Area block for building information. There also will be a proposed gravel drive, turnaround areas, and stormwater management controls.

- ### GENERAL NOTES
- The type of chickens are layer hens. One flock will be approx. 10,000 and will be there for approximately 11 months.
 - Then there will be 4 weeks downtime until the next flock moves in.
 - Mr. Reiff will have a Manure Management Plan.
 - Any dead chickens will be composted in the compost building.
 - Any changes to this plan after the date of plan preparation or latest revision shall not be the responsibility of Curfman & Zullinger Surveying, Inc.
 - All utilities have been contacted as required by PA Act 121 of 2008. All easements and Right-of-Ways that we are aware of have been shown on this plan.
 - The property owner or developer, as applicable, is responsible for implementation of the erosion and sedimentation control/stormwater management plan.
 - The owner/applicant agrees to comply in perpetuity with the South Newton performance standards as listed in Zoning Section 5.10.
 - No trees, shrubbery, fences, structures, walls or fill shall be placed within the Right-of-Way of any street or within any easement.
 - Cumberland County Conservation District shall be notified in the event that sinkholes are encountered during construction. If sinkholes are encountered, the services of a registered geologist shall be obtained to assist in recommending construction techniques and permanent facilities necessary to avoid further sinkhole creation and with regard to the repair of any existing sinkholes.
 - South Newton Township supervisors and Cumberland County officials and their agents or employees shall have the right of access to any and all drainage facilities.
 - No areas are being dedicated to South Newton Township by this Land Development Plan.
 - No subdivision of land is being proposed by this Land Development Plan.
 - No public or private sanitary sewer facilities are being proposed by this Land Development Plan.

- ### CONTRACTOR NOTES
- The contractor shall be responsible for obtaining any permits required for the construction proposed on this plan.
 - The contractor shall be responsible for the replacement of any damaged or destroyed existing site features that are to remain.
 - All improvements shall meet the requirements of South Newton Township.
 - The contractor shall be responsible for all traffic control, trench barricading, covering, sheeting and shoring, in accordance with applicable federal, state and local regulations.
 - All underground utilities may not be shown, and must be field verified prior to construction, excavation, or blasting. The actual locations of these utilities may not have been field verified. Curfman & Zullinger, Inc. does not make any representation, warranty, assurance or guarantee that the underground utility information reflected on these drawings is correct an accurate. Curfman & Zullinger, Inc. assumes no responsibility for any damage incurred as a result of underground utilities omitted or inaccurately shown.
 - The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage done due to the contractor's negligence shall be immediately and completely repaired at the contractors expense.
 - The contractor shall legally dispose of all underground and above ground structures, features, and materials as required for the construction of the improvements shown on this plan.
 - The contractor shall ensure positive drainage away from all buildings.
 - The contractor shall coordinate any and all utility service extensions/terminations with the utility owner.
 - The contractor is responsible for all field testing and "Record Drawings" as required by the various authority requirements.
 - The contractor shall notify the appropriate authorities at least 10 days prior to the commencement of construction.
 - The contractor shall call PA One-Call prior to beginning construction.

OWNERSHIP REFERENCE:

CUMBERLAND COUNTY
DEED BOOK VOLUME 255, PAGE 4520
PARCEL I.D.: 41-12-0328-002

SURVEY DATUM:

VERTICAL DATUM - NAVD 88

SHEET INDEX

- Sheet 1 of 7 - Cover Sheet - Land Development Plan
- Sheet 2 of 7 - Site Plan (Existing Conditions)
- Sheet 3 of 7 - Site Plan (Proposed Improvements)
- Sheet 4 of 7 - Grading / E & S Plan
- Sheet 5 of 7 - E & S Detail Plan
- Sheet 6 of 7 - E & S Detail Plan
- Sheet 7 of 7 - E & S Detail Plan

- ### STORMWATER MANAGEMENT NOTES
- The Post-Construction Stormwater Management Report, is hereby declared part of this Land Development Plan.
 - Cumberland County and South Newton Township is not responsible for the maintenance of any stormwater facility that is not offered for dedication to public use.
 - The owner and/or occupant of the lot shown hereon shall own and maintain the stormwater management facilities shown and constructed on their property. The municipality shall have the right to:
 - Inspect the facilities at any time.
 - require the owner to make corrective actions/measures and assign a reasonable time frame to complete the corrective action.
 - Authorize maintenance to be done and lien all costs of the work against the property of the entity responsible for the maintenance.
 - Stormwater management facilities shall be maintained in the design condition and kept free and clear of fill or other obstructions.
 - Stormwater management facilities and erosion and sedimentation control devices shall be constructed in accordance with the current South Newton Township and Cumberland County Conservation District standards and specifications.
 - Stormwater management facilities have been designed for the impervious surfaces shown on the plan. Any additional impervious surfaces beyond that shown on the plan may require additional stormwater management facilities and must be approved by South Newton Township prior to installation.

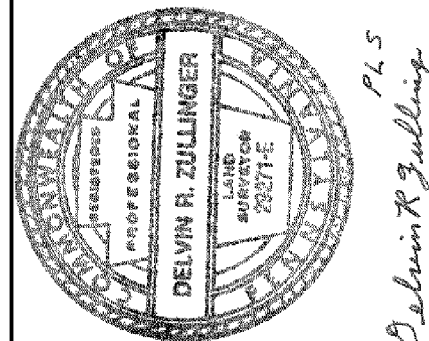
LEGEND	
EXISTING FEATURES	
	MAJOR - MINOR CONTOURS
	SOIL BOUNDARY
	PROPERTY LINE
	ADJOINER LINE
	CARTWAY AND DRIVEWAY
	RIGHT-OF-WAY
	CENTERLINE
	EDGE OF TREES
	FLOODPLAIN BOUNDARY
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE (LOD)
	EASEMENT
	STORMWATER PIPE
	BENCHMARK
	UTILITY POLE
	WELL
	SEPTIC
	SPOT ELEVATION
	FLOODPLAIN
	WETLAND
	PROPOSED SHALE
	EXISTING CONCRETE
	RIPRAP
	VEGETATED FILTER STRIP
	EROSION CONTROL MATTING
	SILT FENCE
	ROCK CONSTRUCTION ENTRANCE
	COMPOST FILTER SOCK

STOP - CALL BEFORE YOU DIG

PENNSYLVANIA LAW REQUIRES
THREE WORKING DAYS NOTICE

Pennsylvania One Call System, Inc.
1-800-242-1776

NOTE: IN ACCORDANCE WITH ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF 2008, 73 P.S. 176 et. seq., GIVEN TO THE ONE CALL SYSTEM NOT LESS THAN THREE DAYS NOR MORE



Curfman & Zullinger
Surveying Inc.

Surveying & Subdivision & Stake out
566 Lincoln Way East
Chambersburg, PA 17201
Phone (717)-261-0749
Fax (717)-261-1705

Scale	As Shown	Date	03/23/22	Drawn	BLB	Computed	DRZ	Checked	DRZ	File No.	3087-1
										By	Revision

Sheet 1 of 7 Sheets

COVER SHEET
LAND DEVELOPMENT PLAN
PRELIMINARY / FINAL

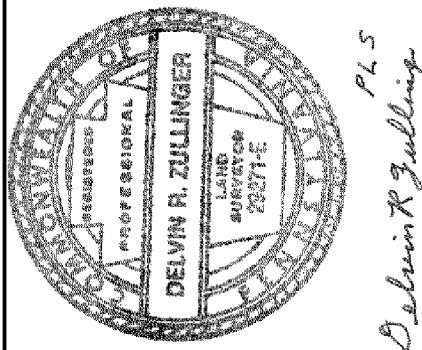
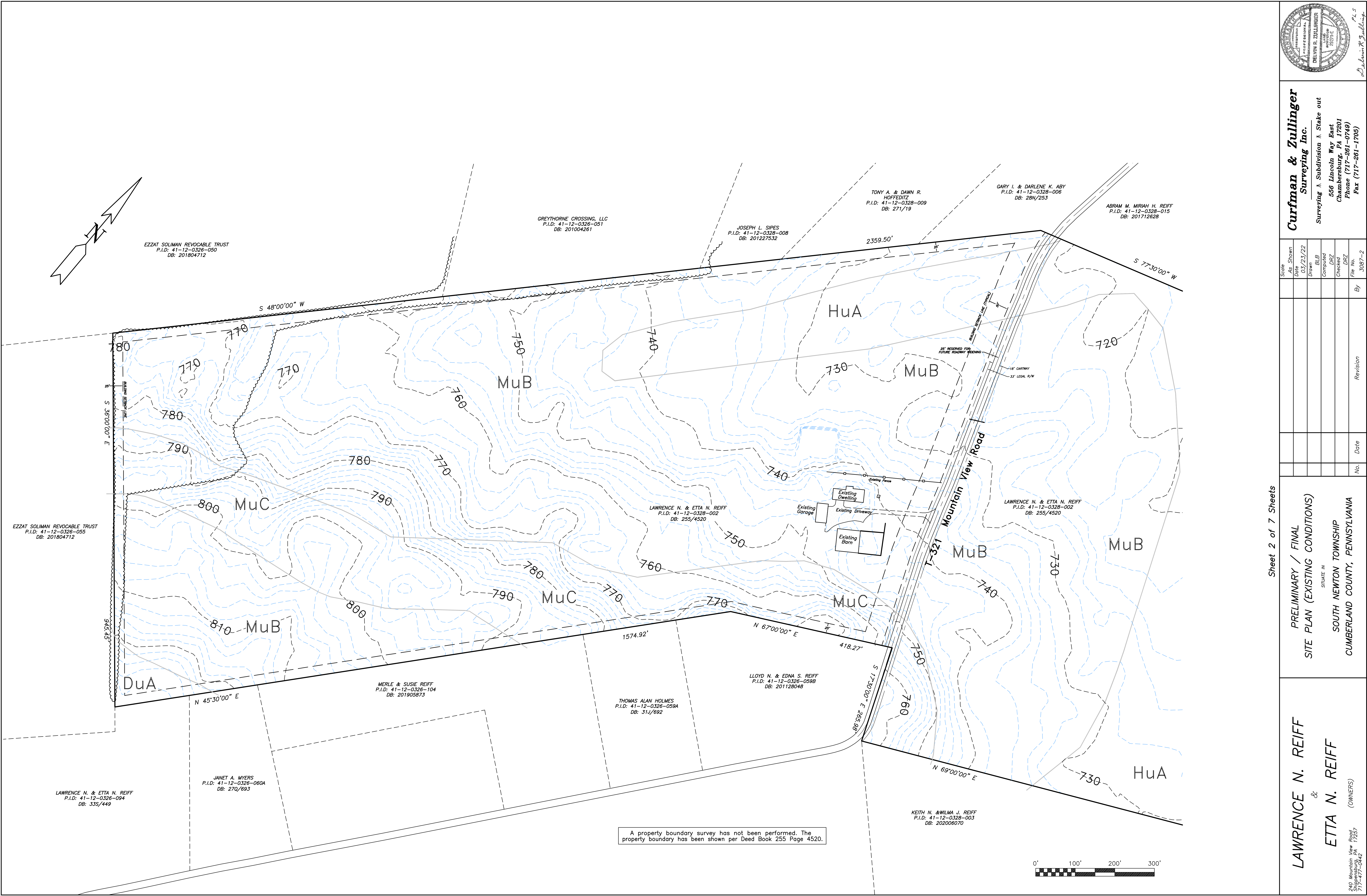
SITUATE IN
SOUTH NEWTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

LAWRENCE N. REIFF
&

ETTA N. REIFF

(OWNERS)

240 Mountain View Road
Shippensburg, PA 17257
717-477-0442



Delvin R. Zullinger
P.L.S.

Curfman & Zullinger
Surveying Inc.
Surveying & Subdivision & Stake out
556 Lincoln Way East
Chambersburg, PA 17201
Phone (717-261-0749)
Fax (717-261-1705)

Scale	As Shown	Date	Drawn	BLB	Computed	Checked	File No.	By	Revision	Date	No.
		03/23/22									

Sheet 2 of 7 Sheets

PRELIMINARY / FINAL
SITE PLAN (EXISTING CONDITIONS)

SITUATE IN
SOUTH NEWTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

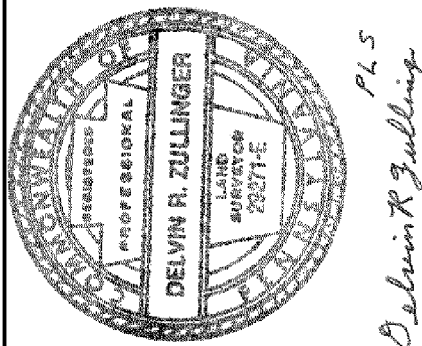
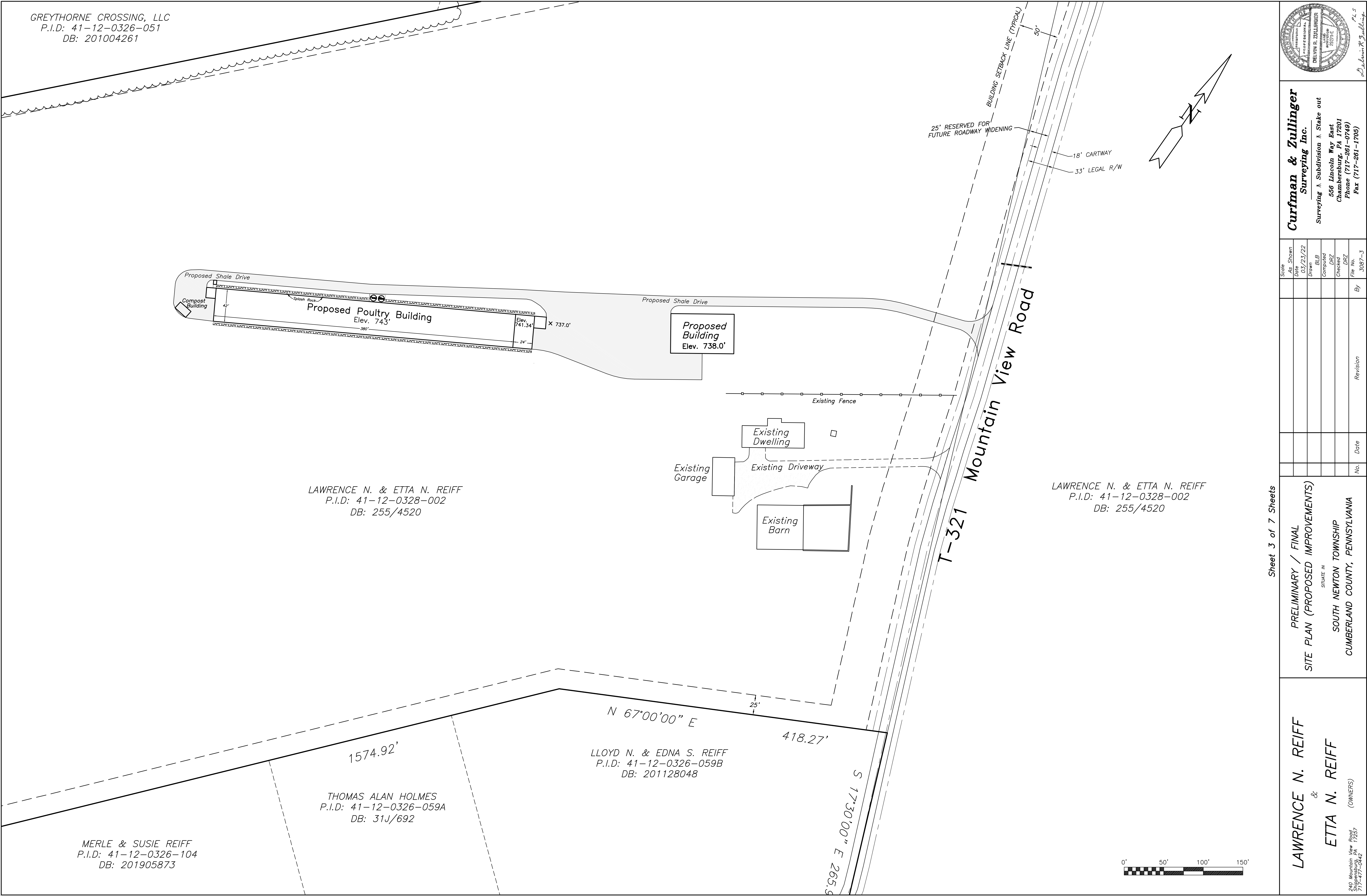
LAWRENCE N. REIFF

&

ETTA N. REIFF

(OWNERS)

240 Mountain View Road
Shippensburg, PA 17257
717-477-0442



Curfman & Zullinger
Surveying Inc.
Surveying & Subdivision & Stake out
556 Lincoln Way East
Chambersburg, PA 17201
Phone (717-261-0749)
Fax (717-261-1705)

Scale	As Shown	Date	Drawn	BLB	Computed	Checked	File No.	By
		03/23/22						

No.	Date	Revision

PRELIMINARY / FINAL
SITE PLAN (PROPOSED IMPROVEMENTS)
SITUATE IN
SOUTH NEWTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

LAWRENCE N. REIFF
&
ETTA N. REIFF
(OWNERS)
240 Mountain View Road
Shippensburg, PA 17257
717-477-0442

NPDES Permit Boundary

(45.5± Acres)
Scale: 1" = 500'

NPDES PERMIT
BOUNDARY
(45.5± ACRES)

Allen B. and Emma W. Leid
UPI: 21-0N09-098A-000000
DB: 1605/411

JOSEPH L. SIPES
P.I.D: 41-12-0328-008
DB: 201227532

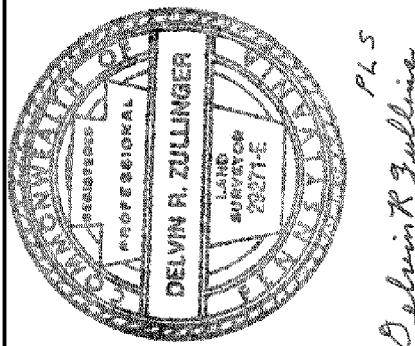
GREYTHORNE CROSSING,
LLC
P.I.D: 41-12-0326-051
DB: 201004261

LAWRENCE N. & ETTA N. REIFF
P.I.D: 41-12-0328-002
DB: 255/4520

LEGEND

- CFS-2 - COMPOST FILTER SOCK
- RCE - ROCK CONSTRUCTION ENTRANCE
- Soil Probe
- PERCOLATION TESTING
- Limit of Disturbance (LOD)
- ORANGE CONSTRUCTION FENCE
- RIP-RAP APRON
- EROSION CONTROL SPLASH ROCK (DRIP EDGE)
- P300 LINING
- NAG S150BN EROSION CONTROL BLANKET

Note: All slopes greater than 3:1 slope are to be matted with NAG S150BN Erosion Control Blanket



Curfman & Zullinger
Surveying Inc.
Surveying & Subdivision & Stake out
556 Lincoln Way East
Chambersburg, PA 17201
Phone (717-261-0749)
Fax (717-261-1705)

Scale	As Shown	Date	Drawn	BLB	Computed	Checked	DRZ	DRZ	File No.	3087-4
		03/23/22								

Scale	As Shown	Date	Drawn	BLB	Computed	Checked	DRZ	DRZ	File No.	3087-4
		03/23/22								

GRADING / E & S PLAN
SITUATE IN
SOUTH NEWTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

LAWRENCE N. REIFF
&
ETTA N. REIFF
(OWNERS)
240 Mountain View Road
Shippensburg, PA 17257
717-477-0442

Sheet 4 of 7 Sheets

