

**PLANNING DEPARTMENT**  
C u m b e r l a n d   C o u n t y

**Cumberland County  
Subdivision and Land Development  
Review Report**

Cumberland County Planning Department  
310 Allen Road, Suite 101  
Carlisle, PA 17013  
Telephone: (717) 240-5362

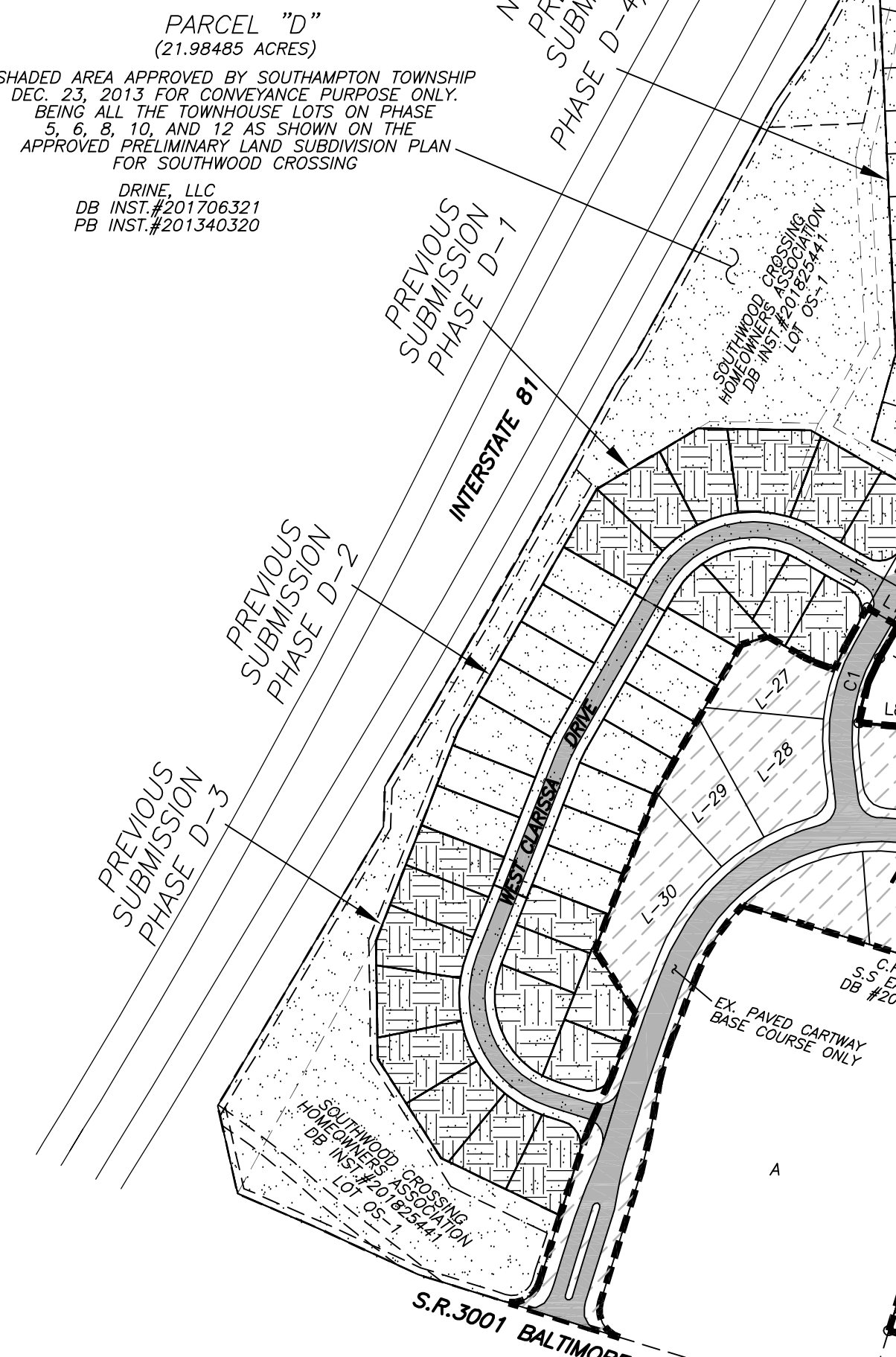
Municipality:	Date Received:	Date Reviewed:	Reviewed By:	Plan Number:
Southampton Township	8/22/2022	9/6/2022	SH	22-112
Plan Title:				
Southwood Crossing Phase 8				
Plan Status:		Plan Type:		
Final		Subdivision Plan		
Comments and Recommendations:				

1. Each of the proposed driveways should include a clear sight triangle (SLDO 401.5.B and 401.16).
2. The required and provided sight distances should be shown at all street intersections on the plan (SLDO 401.7).
3. The township should require sidewalks in higher density residential developments (SLDO 506).
4. It is recommended that a note regarding all of the easements be included on the property deeds.
5. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording** until this information is emailed to [planningreviews@ccpa.net](mailto:planningreviews@ccpa.net). Links to online file downloads are acceptable. Applicants are required to provide the following files:
  - **Parcel boundaries**
  - **Lot lines**
  - **Building footprints**
  - **Road rights-of-ways**
  - **Edge of pavement**
  - **Declaration of planned communities/condominiums documents (including amendments)**



**Location Map**  
 Scale 1" = 2000'

Reviewed by the Cumberland Co. Planning Department this ____ day of _____, ____ Director of Planning _____				Approval recommended by the Southampton Township Planning Committee on this ____ day of _____, ____ Chairperson _____ Secretary _____		Approved by the Southampton Township Supervisors and all conditions imposed with respect to such approval were completed on this ____ day of _____, ____ Chairperson _____ Secretary _____	
WAIVER REQUEST		APPROVED	DISAPPROVED	DATE	I, <u>Darrin G. Rine</u> , being duly sworn, according to law, depose that I am a representative for the owner of record of the lands shown hereon being considered for subdivision approval, and I acknowledge the same to be our plan, and desire the		
Waiver of Plan Size. SECTION 307							



<p>PHASE 1 - 2010  27 SINGLE FAMILY LOTS  A1-A9, B1-B11, C1-C3, L27-L30  10.83 AC  SOUTHWOOD DRIVE 10+00 - 29+70  FULLY INSTALLED EXCEPT FOR  PAVING WEARING COURSE  WOODBRIDGE DRIVE 10+00 - 13+14  FULLY INSTALLED EXCEPT FOR  PAVING WEARING COURSE  SOUTHWOOD DRIVE 52+18 - 62+65  FULLY INSTALLED  MILKY WAY  SUBGRADE ONLY W/ONE LANE STONE  E&amp;S CONTROL/STORMWATER  BASIN #1 INSTALLED</p>	<p>PHASE 6 - UNDER REVIEW  22 SINGLE FAMILY LOTS  F11-F25, G4-G10,  6.91 AC  EDGEWOOD DRIVE 12+75 TO CUL-DE-SAC  FULLY INSTALL</p> <p>PHASE 7 - UNDER REVIEW  38 SINGLE FAMILY LOTS  C4-C12, D22-D35, J1-J15  12.86 AC  EDGEWOOD DRIVE 10+00 - 12+75  FULLY INSTALL  CHRISTIA CIRCLE  FULLY INSTALL</p>
<p>PHASE 2 - 2014  17 SINGLE FAMILY LOTS  C13-C22, F26, H1, H2, H23, H24,  I-1, I-16  6.21 AC  SOUTHWOOD DRIVE 52+18 - 62+65  FULLY INSTALL  MILKY WAY 10+00 - 12+02.30  FULLY INSTALL  JELENA ROAD 10+00 - 11+44 &amp;  26+35 27+68.64, 8" OF 2A  STONE AGGREGATE ONLY</p>	<p>PHASE 8 - THIS SUBMISSION  36 SINGLE FAMILY LOTS  1 RAIN GARDEN LOT 1 OPEN SPACE LOT  O1-O19, R1-R14, R6-R19, P-O5  13.95 AC  EAST CLARISSE DRIVE 10+00 - 25+34  FULLY INSTALL  RINE DRIVE 10+00 - 13+28  FULLY INSTALL</p>
<p>PHASE 3 - 2018  34 SINGLE FAMILY LOTS  H3-H22, I2-I15  11.24 AC  JELENA ROAD 10+18 - 27+50.64  FULLY INSTALL</p>	<p>PHASE 9 - FUTURE PHASE  10 SINGLE FAMILY LOTS  31 CONDITIONAL USE/CLUSTER LOTS  P1-P31, Q1-Q9, R5  12.93 AC  RINE DRIVE 13+28 - 21+70  FULLY INSTALL  WOODBRIDGE DRIVE 25+25 - 39+53  FULLY INSTALL</p>
<p>PHASE 4 - JULY 2021  28 SINGLE FAMILY LOTS  B12-B22, D1-D12, E1-E10  12.98 AC  SOUTHWOOD DRIVE 29+70 - 42+04  FULLY INSTALL  E&amp;S CONTROL/STORMWATER  BASIN #2 MUST BE INSTALLED</p>	<p>NOTE: DATE OF FUTURE PHASE SCHEDULING  NOT DETERMINED AT THIS TIME</p>
<p>PHASE 5 - MARCH 2022  35 SINGLE FAMILY LOTS  F13-F20, E11-E16, F1-F10,  O1-G3, Q11-Q17  11.0 AC  SOUTHWOOD DRIVE 42+04 - PHASE 2  FULLY INSTALL  EDGEWOOD DRIVE 11+08 - SOUTHWOOD DRIVE  SUBGRADE ONLY  TREELINE DRIVE 10+00 - 18+58  FULLY INSTALL  E&amp;S CONTROL/STORMWATER  BASIN #3 MUST BE INSTALLED</p>	

11 - A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PARCEL D AND E) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS ON DEC. 23, 2013. SAID D AND E ARE CURRENTLY UNDER REVIEW AS INSTRUMENT #201037869.

12 - A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 2) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS AND RECORDED AS INSTRUMENT #201171957.

13 - A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 3) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS AND RECORDED AS INSTRUMENT #201816365.

13A - A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 4) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS AND RECORDED AS INSTRUMENT #202126311.

13B - A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 5) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS AND RECORDED AS INSTRUMENT #202126311.

13C - A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 6) IS CURRENTLY UNDER REVIEW BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS.

13D - A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 7) IS CURRENTLY UNDER REVIEW BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS.

**PARCEL "E"**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	225.00'	95.94'	95.21'	N 17°39.36' E	22°20.47'	48.71'
C2	525.00'	202.06'	200.81'	N 18°50.58' E	24°23.05'	102.29'
C3	35.00'	54.98'	49.50'	N 51°17.25' E	90°00.00'	35.00'
C4	35.00'	50.41'	46.17'	N 78°06.55' E	82°31.49'	30.71'
C5	35.00'	121.24'	120.90'	N 53°09.00' E	115°01.71'	60.97'
C6	35.00'	50.41'	46.17'	S 04°24.55' W	82°31.49'	30.71'
C7	270.00'	7.07'	7.07'	S 37°36.00' E	01°30.00'	3.53'
C8	175.00'	21.84'	21.82'	N 64°34.30' S	07°09.00'	10.90'
C9	35.00'	54.98'	49.50'	S 74°00.00' E	90°00.00'	35.00'
C10	10.133'	10.133'	10.133'	S 74°00.00' E	90°00.00'	10.133'

1 A WAIVER REQUEST WAS GRANTED BY THE SOUTHPATH TOWNSHIP SUPERVISORS DURING  
THE PRELIMINARY SUBDIVISION APPROVAL PROCESS PERMITTING 0.25" PER FOOT ON THE  
STREET SHOULDERS.

15 - THE PRELIMINARY STORMWATER MANAGEMENT PLAN WAS APPROVED FOR THIS COMPLETE  
PROJECT DURING THE PRELIMINARY PLAN APPROVAL. APPROVAL BY THE CUMBERLAND COUNTY  
CONSERVATION DISTRICT WAS OBTAINED ON JULY 2, 2008.

16 - POST-CONSTRUCTION STORMWATER PERFORMANCE PRIOR TO PRELIMINARY APPROVAL AND A SMALL  
WETLAND AREA WAS DELINEATED AS SHOWN HEREON. THIS AREA IS LOCATED OUTSIDE OF  
PROPOSED CONSTRUCTION IN PHASE 4.

17 - A PORTION OF "C" IS LOCATED IN ZONE X (AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN)  
ACCORDING TO FEMA MAPPING PLAN #42041-030361E.

18 - ALL KNOWN EXISTING EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN SHOWN ON THIS PLAN.  
ALL RIGHTS-OF-WAY ARE SHOWN AS REQUIRED BY SPA ACCT 172.

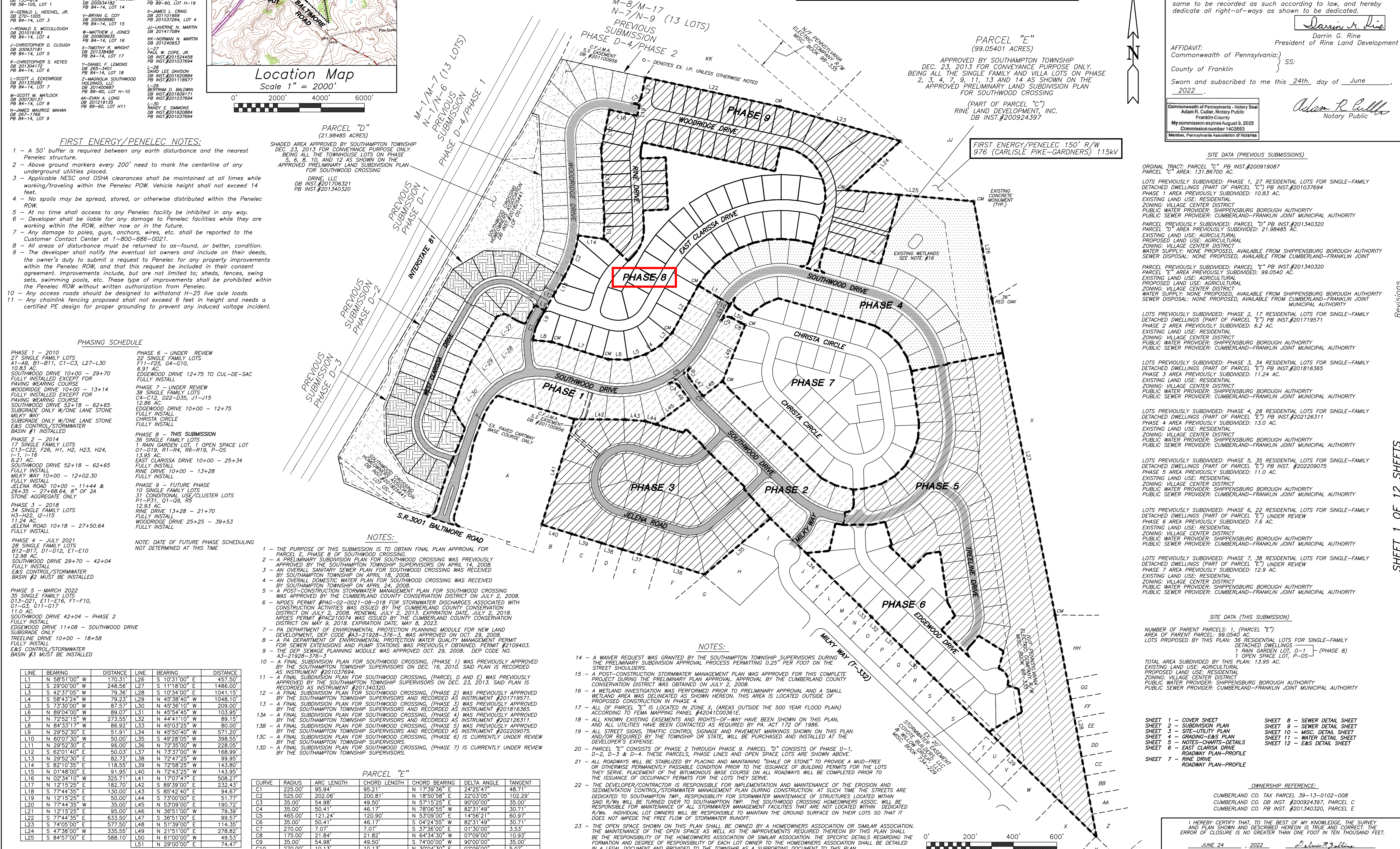
19 - ALL STREET SIGNS, TRAFFIC CONTROL, SIGNAGE, AND PAVEMENT MARKINGS SHOWN ON THIS PLAN  
AND/OR REQUIRED BY THE TOWNSHIP OR STATE, WILL BE PURCHASED AND INSTALLED AT THE  
DEVELOPER'S EXPENSE.

20 - PARCEL "E" CONSISTS OF PHASE 2 THROUGH PHASE 9. PARCEL "D" CONSISTS OF PHASE 0-1,  
D-2, D-3 & D-4. THESE PARCELS, PHASE LINES AND OPEN SPACE LOTS ARE SHOWN ABOVE.

21 - ALL ROADWAYS WILL BE STABILIZED BY PLACING AND MAINTAINING "SHALE OR STONE" TO PROVIDE A MUD-FREE  
OR OTHERWISE PERMANENTLY PASSABLE CONDITION PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THE LOTS  
AND PRIOR TO PLACEMENT OF ANY CURB OR GUTTER. ALL ROADWAYS WILL BE COMPLETED PRIOR TO  
THE ISSUANCE OF OCCUPANCY PERMITS FOR THE LOTS THEY SERVE.

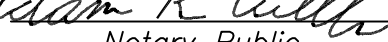
22 - THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND  
SEDIMENT CONTROL MEASURES REQUIRED BY THE TOWNSHIP. THE OPEN SPACE LOTS AND AREAS  
DEDICATED TO SOUTHPATH TWP., RESPONSIBILITY FOR STORMWATER MAINTENANCE OF STRUCTURES LOCATED WITHIN  
SAY R/Ws WILL BE TURNED OVER TO SOUTHPATH TWP. THE SOUTHWOOD CROSSING HOMEOWNERS ASSOC. WILL BE  
RESPONSIBLE FOR MAINTENANCE OF THE SOUTHWOOD CROSSING HOMEOWNERS ASSOCIATION DEDICATED  
R/Ws. INDIVIDUAL LOT OWNERS WILL BE RESPONSIBLE TO MAINTAIN THE GROUND SURFACE ON THEIR LOTS SO THAT IT  
DOES NOT IMPEDE THE FREE FLOW OF STORMWATER RUNOFF.

23 - THE OPEN SPACE SHOWN ON THIS PLAN SHALL BE OWNED BY A HOMEOWNERS ASSOCIATION OR SIMILAR ASSOCIATION  
THE MAINTENANCE OF THE OPEN SPACE IMPROVEMENTS REQUIRED THEREON BY THIS PLAN SHALL  
BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION OR SIMILAR ASSOCIATION. THE SPECIFIC DETAILS REGARDING THE  
FORMATION AND DEGREE OF RESPONSIBILITY OF EACH LOT OWNER TO THE HOMEOWNERS ASSOCIATION SHALL BE DETAILED  
IN THE OPEN SPACE AGREEMENT.



President of Kine Land Development

AFFIDAVIT:  
Commonwealth of Pennsylvania; }  
County of Franklin } SS:  
Sworn and subscribed to me this 24th day of June,  
2022.

Commonwealth of Pennsylvania - Notary Seal Adam R. Culler, Notary Public Franklin County My commission expires August 9, 2025 Commission number 1403663 Member, Pennsylvania Association of Notaries	 Notary Public
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      SITE DATA (PREVIOUS SUBMISSIONS)      

TRACT: PARCEL "C" PB INST.#200819087  
"C" AREA: 131.86700 AC.

PREVIOUSLY SUBMITTED: PHASE 1, 27 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DET DWELLINGS (PART OF PARCEL "C") PB INST.#201037694  
1 AREA PREVIOUSLY SUBMITTED: 10.83 AC.

LAND USE: RESIDENTIAL  
VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PREVIOUSLY SUBMITTED: PARCEL "D" PB INST.#201340320  
"D" AREA PREVIOUSLY SUBMITTED: 21.98485 AC.

LAND USE: AGRICULTURAL  
DET LAND USE: AGRICULTURAL  
VILLAGE CENTER DISTRICT  
SUPPLY: NONE PROPOSED, AVAILABLE FROM SHIPPENSBURG BOROUGH AUTHORITY  
DISPOSAL: NONE PROPOSED, AVAILABLE FROM CUMBERLAND-FRANKLIN JOINT  
MUNICIPAL AUTHORITY

PREVIOUSLY SUBMITTED: PARCEL "E" PB INST.#201340320  
"E" AREA PREVIOUSLY SUBMITTED: 99.0540 AC.

LAND USE: AGRICULTURAL  
DET LAND USE: AGRICULTURAL  
VILLAGE CENTER DISTRICT  
SUPPLY: NONE PROPOSED, AVAILABLE FROM SHIPPENSBURG BOROUGH AUTHORITY  
DISPOSAL: NONE PROPOSED, AVAILABLE FROM CUMBERLAND-FRANKLIN JOINT  
MUNICIPAL AUTHORITY

PREVIOUSLY SUBMITTED: PHASE 2, 17 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DET DWELLINGS (PART OF PARCEL "E") PB INST.#201719571  
2 AREA PREVIOUSLY SUBMITTED: 6.2 AC.

LAND USE: RESIDENTIAL  
VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PREVIOUSLY SUBMITTED: PHASE 3, 34 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DET DWELLINGS (PART OF PARCEL "E") PB INST.#201816365  
3 AREA PREVIOUSLY SUBMITTED: 11.24 AC.

LAND USE: RESIDENTIAL  
VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PREVIOUSLY SUBDIVIDED: PHASE 4, 28 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DOWELLINGS (PART OF PARCEL "C") PB INST.#202126311  
4 A AREA PREVIOUSLY SUBDIVIDED: 13.0 AC.  
LAND USE: RESIDENTIAL  
VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PREVIOUSLY SUBDIVIDED: PHASE 5, 35 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DOWELLINGS (PART OF PARCEL "C") PB INST.#202190975  
5 A AREA PREVIOUSLY SUBDIVIDED: 11.0 AC.  
LAND USE: RESIDENTIAL  
VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PREVIOUSLY SUBDIVIDED: PHASE 6, 22 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DOWELLINGS (PART OF PARCEL "C") UNDER REVIEW  
6 A AREA PREVIOUSLY SUBDIVIDED: 7.6 AC.  
LAND USE: RESIDENTIAL  
VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PREVIOUSLY SUBDIVIDED: PHASE 7, 38 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DOWELLINGS (PART OF PARCEL "C") UNDER REVIEW  
7 A AREA PREVIOUSLY SUBDIVIDED: 12.9 AC.  
LAND USE: RESIDENTIAL  
VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

SITE DATA (THIS SUBMISSION)

OF PARENT PARCELS: 1, (PARCEL "E")  
OF PARENT PARCEL: 99.0540 AC  
PROPOSED BY THIS PLAN: 36 RESIDENTIAL LOTS FOR SINGLE-FAMILY  
DETACHED DWELLINGS  
1 RAIN GARDEN LOT, 0-1-  
1 OPEN SPACE LOT, 0-1-  
AREA SUBDIVIDED BY THIS PLAN: 13.95 AC.  
IG LAND USE: AGRICULTURAL  
SED LAND USE: RESIDENTIAL  
V: VILLAGE CENTER DISTRICT  
WATER PROVIDER: SHIFFENBURG BOROUGH AUTHORITY  
SEWER PROVIDER: CUMBERLAND-BROOKLYN JOINT MUNICIPAL AUTHORITY

1 - COVER SHEET	SHEET 8 - SEWER DETAIL SHEET
2 - SUBDIVISION PLAN	SHEET 9 - SEWER DETAIL SHEET
3 - SITE-UTILITY PLAN	SHEET 10 - WISC. DETAIL SHEET
4 - GRADING-&E&S PLAN	SHEET 11 - WATER DETAIL SHEET
5 - NOTES-CHARTS-DETAILS	SHEET 12 - E&S DETAIL SHEET
6 - EAST CLARSA DRIVE ROADWAY PLAN-PROFILE	
7 - RINE DRIVE ROADWAY PLAN-PROFILE	

OWNERSHIP REFERENCE:

CUMBERLAND CO. TAX PARCEL 39-13-0102-008  
CUMBERLAND CO. DB INST. #200924397, PARCEL C  
CUMBERLAND CO. PB INST. #201340320, PARCEL E

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY  
AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT; THE  
ERROR OF CLOSURE IS NO GREATER THAN ONE FOOT IN TEN THOUSAND FEET.

JUNE 24, 2022


*D. Lewis T. Gulliver*

**Curfman & Zullinger**  
Surveying Inc.

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Surveying    A    Subdivision    A    Stake out

556 Lincoln Way East  
Chambersburg, PA 17201  
Phone (717-261-0749)  
Fax (717-261-1705)

  
*Delvin R. Zullinger*      P.E.

	#4	Scale 1"=200'
	#3	Date 6-24-2022
	#2	Drawn JAM
		Computed JAM
	#1	Checked DRZ
		File No. 2034-123

COVER SHEET  
FOR  
SOUTHWOOD CROSSING  
PARCEL E  
(FINAL PHASE 8)  
SITUATE IN  
SOUTHAMPTON TOWNSHIP  
CUMBERLAND COUNTY, PENNSYLVANIA

**WINNER/DEVELOPER**  
06 SOUTH CONESTOGA DRIVE  
SHIPPENSBURG, PA 17257  
(717)-532-3810

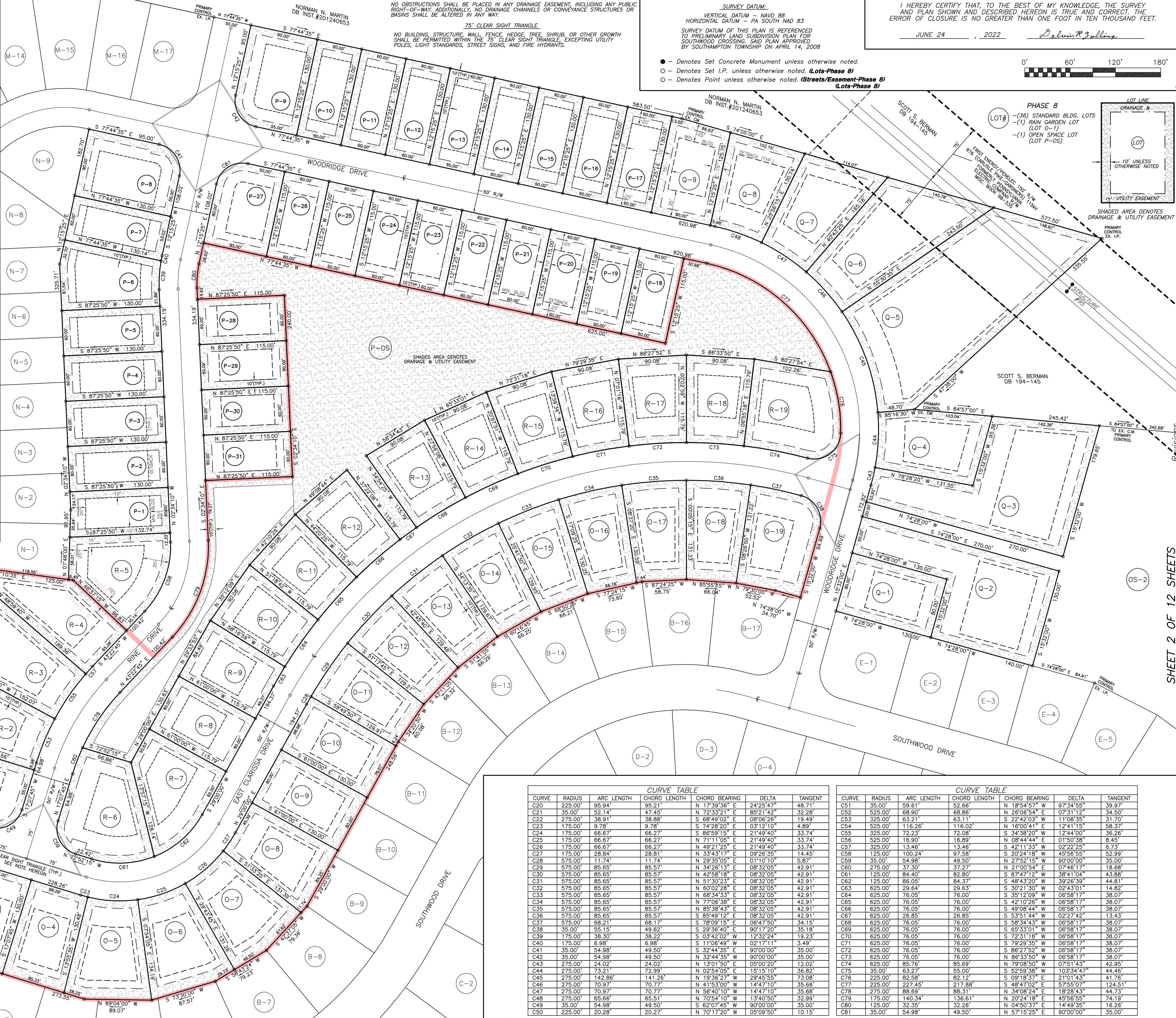


AREA		
Lot#	Sq. Feet	Acres
O-1	11725.15	0.2692
O-2	10400.00	0.2388
O-3	10400.00	0.2388
O-4	10620.85	0.2438
O-5	12076.41	0.2772
O-6	12103.15	0.2778
O-7	12075.67	0.2772
O-8	11096.55	0.2547
O-9	10400.00	0.2388
O-10	10320.71	0.2369
O-11	9894.02	0.2269
O-12	9886.74	0.2270
O-13	9901.77	0.2273
O-14	9917.74	0.2277
O-15	9936.98	0.2281
O-16	9958.33	0.2286
O-17	9956.10	0.2286
O-18	10014.65	0.2299
O-19	12191.59	0.2799
P-1	7849.05	0.1802
P-2	7800.00	0.1791
P-3	7800.00	0.1791
P-4	7800.00	0.1791
P-5	7800.00	0.1791
P-6	10074.67	0.2313
P-7	7800.32	0.1791
P-8	11437.11	0.2626
P-9	11437.11	0.2626
P-10	7800.00	0.1791
P-11	7800.00	0.1791
P-12	7800.00	0.1791
P-13	7800.00	0.1791
P-14	7800.00	0.1791
P-15	7800.00	0.1791
P-16	7800.00	0.1791
P-17	7800.00	0.1791
P-18	6900.00	0.1584
P-19	6900.00	0.1584
P-20	6900.00	0.1584

AREA		
Lot#	Sq. Feet	Acres
P-21	6900.00	0.1584
P-22	6900.00	0.1584
P-23	6900.00	0.1584
P-24	6900.00	0.1584
P-25	6900.00	0.1584
P-26	6900.00	0.1584
P-27	9512.11	0.2184
P-28	6900.00	0.1584
P-29	6900.00	0.1584
P-30	6900.00	0.1584
P-31	6900.00	0.1584
O-1	10400.00	0.2388
O-2	24700.00	0.5670
O-3	30197.63	0.6932
O-4	12075.36	0.2772
O-5	43263.20	0.9932
O-6	19364.37	0.4445
O-7	13031.05	0.2992
O-8	10931.91	0.2510
O-9	10258.61	0.2355
R-1	14721.81	0.3380
R-2	13548.97	0.3110
R-3	15057.62	0.3457
R-4	12687.66	0.2913
R-5	12139.15	0.2787
R-6	13988.89	0.3211
R-7	11911.42	0.2734
R-8	9263.11	0.2127
R-9	9440.68	0.2167
R-10	9538.72	0.2190
R-11	9538.72	0.2190
R-12	9538.72	0.2190
R-13	9538.72	0.2190
R-14	9538.72	0.2190
R-15	9538.72	0.2190
R-16	9538.72	0.2190
R-17	9538.72	0.2190
R-18	9538.72	0.2190
R-19	13598.91	0.3122
P-OS	125599.92	2.8834

REQUIRED ZONING DATA	
Zoned - Village Center District (VC) with Public Water and Sewer	
<b>CLUSTER DEVELOPMENT - MIN. AREA 5 AC.</b>	
Min. Frontage Width - 60'	
Min. Lot Area - 6,900 Sq. Ft.	
Min. Building Setback Lines - Front = 25', Side = 10', Rear = 20'	
Maximum Building Height - 30'	
2 On-Lot Parking Spaces per Dwelling Unit	
PROPOSED ZONING DATA	
Zoned - Village Center District (VC) with Public Water and Sewer	
<b>CLUSTER DEVELOPMENT - 8.4 AC.</b>	
Min. Frontage Width - 60'	
Min. Lot Area - 6,900 Sq. Ft.	
Min. Building Setback Lines - Front = 25', Side = 10', Rear = 20'	
Maximum Building Height - 30'	
2 On-Lot Parking Spaces per Dwelling Unit	

REQUIRED ZONING DATA	
Zoned - Village Center District (VC) with Public Water and Sewer	
<b>SINGLE FAMILY DETACHED DWELLINGS</b>	
Min. Frontage Width - 80'	
Min. Lot Area - 8,400 Sq. Ft.	
Min. Building Setback Lines - Front = 35', Side = 15', Rear = 25'	
Maximum Building Height - 30'	
2 On-Lot Parking Spaces per Dwelling Unit	
PROPOSED ZONING DATA	
Zoned - Village Center District (VC) with Public Water and Sewer	
<b>SINGLE FAMILY DETACHED DWELLINGS</b>	
Min. Frontage Width - 80'	
Min. Lot Area - 9,263.11 Sq. Ft.	
Min. Building Setback Lines - Front = 35', Side = 15', Rear = 25'	
Maximum Building Height - 30'	
2 On-Lot Parking Spaces per Dwelling Unit	



NO OBSTRUCTIONS SHALL BE PLACED IN ANY DRAINAGE EASEMENT, INCLUDING ANY PUBLIC RIGHT-OF-WAY. ADDITIONALLY, NO DRAINAGE CHANNELS OR CONVEYANCE STRUCTURES OR BASINS SHALL BE ALTERED IN ANY WAY.

75' CLEAR SIGHT TRIANGLE

NO BUILDING, STRUCTURE, WALL, FENCE, HEDGE, TREE, SHRUB, OR OTHER GROWTH SHALL BE PERMITTED WITHIN THE 75' CLEAR SIGHT TRIANGLE, EXCEPTING UTILITY POLES, LIGHT STANDARDS, STREET SIGNS, AND FIRE HYDRANTS.

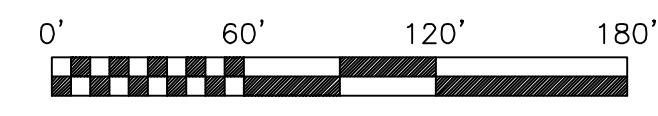
SURVEY DATUM:  
VERTICAL DATUM - NAVD 88  
HORIZONTAL DATUM - PA SOUTH NAD 83

SURVEY DATUM OF THIS PLAN IS REFERENCED TO PRELIMINARY LAND SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, SAID PLAN APPROVED BY SOUTHAMPTON TOWNSHIP ON APRIL 14, 2008

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT. THE ERROR OF CLOSURE IS NO GREATER THAN ONE FOOT IN TEN THOUSAND FEET.

JUNE 24, 2022

*Delvin R. Zullinger*



**Curfman & Zullinger**  
Surveying Inc.

Surveying & Subdivision & Stake out

556 Lincoln Way East  
Chambersburg, PA 17201  
Phone (717) 261-0749  
Fax (717) 261-1705

#4	#5	#2	#1
Scale	Date	Drawn	Computed
1"=60'	6-24-2022	JAM	JAM
		Checked	DRZ
		File No.	2034-124

SHEET 2 OF 12 SHEETS

FINAL SUBDIVISION PLAN  
FOR  
SOUTHWOOD CROSSING  
PARCEL E  
(FINAL PHASE 8)  
SITUATE IN  
SOUTHAMPTON TOWNSHIP  
CUMBERLAND COUNTY, PENNSYLVANIA

**RINE LAND DEVELOPMENT, INC.**  
(OWNER/DEVELOPER)

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	DELTA
C20	225.00'	95.94'	N 17°39'36" E	24°25'47"
C21	35.00'	52.14'	N 72°33'21" E	85°01'42"
C22	275.00'	38.91'	S 68°49'02" E	08°06'26"
C23	175.00'	9.78'	S 74°28'00" E	03°12'10"
C24	175.00'	66.67'	S 86°59'15" E	21°49'40"
C25	175.00'	66.67'	N 71°11'05" E	21°49'40"
C26	175.00'	66.67'	N 49°21'25" E	21°49'40"
C27	175.00'	28.84'	N 33°43'17" E	09°26'35"
C28	575.00'	11.74'	N 29°35'05" E	15°10'10"
C29	575.00'	85.65'	N 34°26'13" E	08°32'05"
C30	575.00'	85.65'	N 42°58'18" E	08°32'05"
C31	575.00'	85.65'	N 51°30'23" E	08°32'05"
C32	575.00'	85.65'	N 60°02'28" E	08°32'05"
C33	575.00'	85.65'	N 68°34'33" E	08°32'05"
C34	575.00'	85.65'	N 77°06'38" E	08°32'05"
C35	575.00'	85.65'	N 85°38'43" E	08°32'05"
C36	575.00'	85.65'	S 85°49'12" E	08°32'05"
C37	575.00'	68.21'	S 78°09'15" E	06°47'50"
C38	35.00'	55.15'	S 29°36'40" E	90°17'20"
C39	175.00'	38.30'	S 34°42'02" W	12°32'24"
C40	175.00'	6.98'	S 11°06'49" W	02°17'11"
C41	35.00'	54.98'	S 32°44'35" E	90°00'00"
C42	35.00'	54.98'	N 32°44'35" W	90°00'00"
C43	275.00'	24.02'	N 33°01'50" E	05°00'20"
C44	275.00'	73.21'	N 02°54'05" E	15°15'10"
C45	275.00'	142.86'	N 19°36'27" W	29°45'55"
C46	275.00'	70.97'	N 41°53'00" W	14°47'10"
C47	275.00'	70.97'	N 56°40'10" W	14°47'10"
C48	275.00'	65.66'	N 70°54'10" W	13°40'50"
C49	35.00'	54.98'	N 82°07'45" W	90°00'00"
C50	225.00'	20.28'	N 70°17'20" W	05°09'50"

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	DELTA
C51	35.00'	59.61'	N 18°54'57" W	97°34'55"
C52	525.00'	68.90'	N 26°06'54" E	07°31'12"
C53	325.00'	63.21'	S 22°42'03" W	11°08'35"
C54	525.00'	116.26'	N 16°00'15" E	12°41'15"
C55	325.00'	72.23'	S 34°38'20" W	12°44'00"
C56	525.00'	16.90'	N 08°44'44" E	01°50'38"
C57	325.00'	13.46'	S 42°11'33" W	02°22'25"
C58	125.00'	100.24'	S 20°24'18" W	45°56'55"
C59	35.00'	54.98'	N 27°52'15" W	90°00'00"
C60	275.00'	37.30'	N 21°00'54" E	07°46'17"
C61	125.00'	84.40'	S 87°47'12" W	38°41'04"
C62	125.00'	86.05'	S 48°43'20" W	39°26'39"
C63	625.00'	29.64'	S 30°21'30" W	02°43'01"
C64	625.00'	76.05'	S 35°12'09" W	06°58'17"
C65	625.00'	76.05'	S 42°10'26" W	06°58'17"
C66	625.00'	76.05'	S 49°08'44" W	06°58'17"
C67	625.00'	26.85'	S 53°51'44" W	02°27'42"
C68	625.00'	76.05'	S 58°34'43" W	06°58'17"
C69	625.00'	76.05'	S 65°33'01" W	06°58'17"
C70	625.00'	76.05'	S 72°31'18" W	06°58'17"
C71	625.00'	76.05'	S 79°29'35" W	06°58'17"
C72	625.00'	76.05'	S 86°27'52" W	06°58'17"
C73	625.00'	76.05'	N 86°33'50" W	06°58'17"
C74	625.00'	85.76'	N 79°08'50" W	07°51'43"
C75	35.00'	63.27'	S 52°59'38" W	103°34'47"
C76	225.00'	82.58'	S 09°18'37" E	21°01'43"
C77	225.00'	227.45'	S 48°47'02" E	57°55'07"
C78	275.00'	88.69'	N 34°08'24" E	18°28'43"
C79	175.00'	140.34'	N 20°24'18" E	45°56'55"
C80	125.00'	32.26'	N 04°50'57" E	14°49'35"
C81	35.00'	54.98'	N 57°15'25" E	90°00'00"



