



**PLANNING DEPARTMENT**  
Cumberland County

**Cumberland County  
Subdivision and Land Development  
Review Report**

Cumberland County Planning Department  
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Carlisle, PA 17013  
Telephone: (717) 240-5362

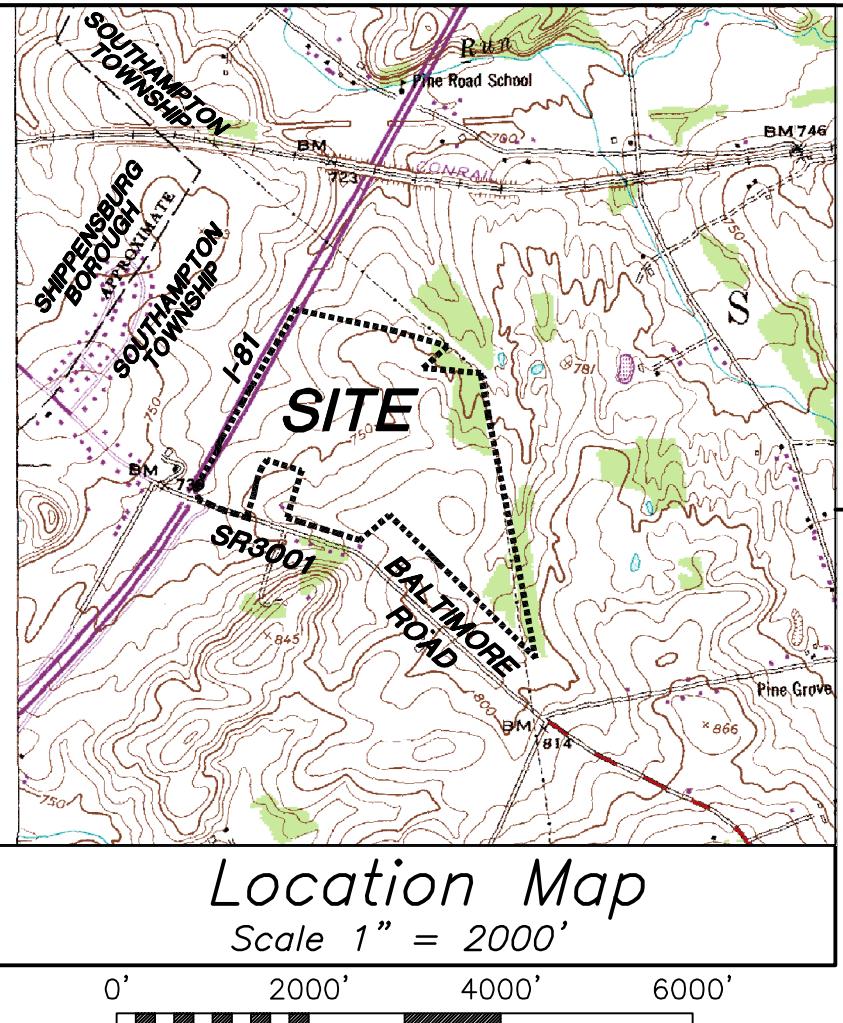
<i>Municipality:</i> Southampton Township	<i>Date Received:</i> 8/22/2022	<i>Date Reviewed:</i> 9/6/2022	<i>Reviewed By:</i> SH	<i>Plan Number:</i> 22-112
<i>Plan Title:</i> <b>Southwood Crossing Phase 8</b>				
<i>Plan Status:</i> <b>Final</b>		<i>Plan Type:</i> <b>Subdivision Plan</b>		

*Comments and Recommendations:*

1. Each of the proposed driveways should include a clear sight triangle (SLDO 401.5.B and 401.16).
2. The required and provided sight distances should be shown at all street intersections on the plan (SLDO 401.7).
3. The township should require sidewalks in higher density residential developments (SLDO 506).
4. It is recommended that a note regarding all of the easements be included on the property deeds.
5. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording** until this information is emailed to [planningreviews@ccpa.net](mailto:planningreviews@ccpa.net). Links to online file downloads are acceptable. Applicants are required to provide the following files:

- **Parcel boundaries**
- **Lot lines**
- **Building footprints**
- **Road rights-of-ways**
- **Edge of pavement**
- **Declaration of planned communities/condominiums documents (including amendments)**

**FINAL  
SUBDIVISION OF LAND  
FOR  
SOUTHWOOD CROSSING**  
**(PARCEL 'E')  
(PHASE 8)**



**ADJOINERS**  
A-SOUTHAMPTON TWP.  
DB 20109002  
PB 67-149  
PARCEL A & B - 2  
B-GREGORY E. MELLOTT  
DB 20103544  
PB 36-96, LOT 7  
C-JOHN M. BYERS  
DB 20013302  
PB 36-96, LOT 6  
D-UNIDENTIFIED HORST  
DB 248-4715  
PB 23-W-87, LOT 4  
E-MITZ K. VARNER  
DB 20103482  
PB 67-90, LOT 3 & 3A  
F-UNIDENTIFIED R. HAMMOND  
DB 201004168  
PB 67-90, LOT 1 & 1A  
G-THEODORE LAWRENCE  
DB 133-879  
PB 58-105, LOT 1  
H-GERALD L. HEICHEL, JR.  
DB 20103482  
PB 67-90, LOT 3  
I-RONALD S. MCCULLOUGH  
DB 20101818  
PB 67-90, LOT 4  
J-CHRISTOPHER D. CLOUGH  
DB 200937181  
PB 84-14, LOT 5  
K-CHRISTOPHER S. KEYES  
DB 20103482  
PB 84-14, LOT 6  
L-SCOTT J. ECKERD  
DB 20103282  
PB 84-14, LOT 7  
M-SCOTT H. MATLOCK  
DB 200730137  
PB 84-14, LOT 8  
N-MARJORICE MAHAN  
DB 267-768  
PB 84-14, LOT 9  
O-KEVIN L. HOCK  
DB 201015128  
PB 84-14, LOT 10  
P-UNIDENTIFIED, OULSTON  
DB 20103544  
PB 84-14, LOT 10A  
Q-ROBERT A. AKEY II  
DB 20103544  
PB 84-14, LOT 11  
R-ROBERT BUCHTER  
DB 268-522  
PB 84-14, LOT 11A  
S-ROBERT BUCHTER  
DB 273-1865  
PB 84-14, LOT 12 & 13  
T-UNIDENTIFIED, FRANKLIN  
NOVEMBER AUTHORITY  
DB 255-1047  
PB 84-14, LOT 13A  
U-ROBERT M. CRESSEL  
DB 260-1112  
PB 84-14, LOT 14  
V-BRYAN G. COY  
DB 201037286  
PB 84-14, LOT 15  
W-UNIDENTIFIED, JONES  
DB 200937181  
PB 84-14, LOT 16  
X-TIMOTHY R. WRIGHT  
DB 20103482  
PB 84-14, LOT 17  
Y-DANIEL F. LEMONS  
DB 265-1401  
PB 84-14, LOT 18  
Z-MAGLINA SOUTHWOOD  
HOLDINGS, LLC  
DB 20103482  
PB 84-14, LOT 19  
AA-EVAN A. LONG  
DB 20103482  
PB 84-14, LOT 20  
AB-RANDY E. SIMMONS  
DB 20103282  
PB 84-14, LOT 21  
AC-UNIDENTIFIED  
DB 20103482  
PB 84-14, LOT 22  
AD-UNIDENTIFIED  
DB 20103482  
PB 84-14, LOT 23  
AE-UNIDENTIFIED  
DB 20103482  
PB 84-14, LOT 24  
AF-UNIDENTIFIED  
DB 20103482  
PB 84-14, LOT 25  
AG-UNIDENTIFIED  
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AH-UNIDENTIFIED  
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AJ-UNIDENTIFIED  
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AK-UNIDENTIFIED  
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AL-UNIDENTIFIED  
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AN-UNIDENTIFIED  
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AP-UNIDENTIFIED  
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AQ-UNIDENTIFIED  
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PB 84-14, LOT 51  
BH-UNIDENTIFIED  
DB 20103482  
PB 84-14, LOT 52  
BI-UNIDENTIFIED  
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PB 84-14, LOT 53  
BJ-UNIDENTIFIED  
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PB 84-14, LOT 54  
BK-UNIDENTIFIED  
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PB 84-14, LOT 55  
BL-UNIDENTIFIED  
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BM-UNIDENTIFIED  
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BN-UNIDENTIFIED  
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PB 84-14, LOT 58  
BO-UNIDENTIFIED  
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PB 84-14, LOT 59  
BP-UNIDENTIFIED  
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PB 84-14, LOT 62  
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BV-UNIDENTIFIED  
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PB 84-14, LOT 66  
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BX-UNIDENTIFIED  
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