

PLANNING DEPARTMENT
C u m b e r l a n d C o u n t y

**Cumberland County
Subdivision and Land Development
Review Report**

Cumberland County Planning Department
310 Allen Road, Suite 101
Carlisle, PA 17013
Telephone: (717) 240-5362

Municipality:	Date Received:	Date Reviewed:	Reviewed By:	Plan Number:
Lemoyne Borough	8/17/2022	9/1/2022	SH	22-111
Plan Title:				
Taco Bell				
Plan Status:		Plan Type:		
Preliminary/Final		Land Development Plan		
Comments and Recommendations:				

1. All applicable zoning overlay districts should be included in the zoning schedule on sheet 3 (zoning 550-6.A).
2. It appears that the trash enclosure is located behind the parking stalls. The applicant should verify that the garbage haulers will be able to access the dumpster for trash collection (zoning 550-35.A and 550-45.C).
3. Lighting for nonresidential uses should not exceed 0.5 footcandles at the property line. The borough should verify compliance (zoning 550-49.B.9.E).
4. The applicant should review the landscaping and lighting plan. The west side of the parking lot proposes a tree in a parking space (zoning 550-67.B.2.A.5).
5. The outdoor dining area (patio) should not exceed 30% of the interior restaurant floor space dedicated to customer seating (zoning 550-88.G.3.D). The plan should include proof of compliance.
6. Trash receptacles should be provided in the patio area (zoning 550-88.G.3.H).
7. The plan should include separate blocks for variances (from zoning) and waiver requests (from SLDO). The variances block listed on sheet 3 include several waiver requests (SLDO 480-9.A.2.C).
8. The Cumberland County Tax Map, zoning map and USGS map should include a scale. The project location should be centered on the USGS map (SLDO 480-9.A.10.A.4).
9. The review block for the 'County Planning Commission Review' will be signed by the Director of Planning. The signature line for the chairman should be removed (SLDO 480-9.A.10.A.10).
10. The zoning map on the cover sheet should include a legend identifying the zones (OFF and CG). In addition, all of the zoning districts should be identified (SLDO 480-9.A.10.A.13).
11. The plan should include a note addressing the anticipated sewage flow rates and the Pennsylvania DEP sewage planning requirements (SLDO 480-9.A.11.A).
12. A waiver of the stormwater management report is requested. The plan should note the existing impervious cover and compare to the proposed impervious cover. We recommend that the

borough only consider the waiver request if the proposed coverage is equal to or less than the existing coverage (SLDO 480-12.D).

13. The borough should consider the safety of pedestrians when reviewing the waiver request for sidewalks. Employees from nearby businesses as well as nearby residents may use sidewalks in the area. Sidewalks should be provided along the Camp Hill Bypass and North 12th Street (SLDO 480-21).
14. The clear sight triangles should be shown on the plan at street intersections and access drive intersections. The borough should verify that the clear sight triangle will be maintained. The plan should include a statement protecting the clear sight triangle as indicated in SLDO 19.H.5.F (zoning 550-65.K.3, SLDO 480-19.H.5.F and SLDO 480-24.B.3.H).
15. The caliper size of each proposed deciduous tree should be provided on the landscaping and lighting plan (SLDO 480-33.C.1).
16. A minimum of 2 planting units is required for every 1,000 square feet of building coverage. The cover sheet and/or the landscaping plan should include proof of compliance (SLDO 480-33.E.3.A.2).
17. A community lighting system should be installed along one side of the street and at all intersections. The applicant and the borough should determine whether these lights are required (SLDO 480-34.C.1).
18. The borough should determine whether the dedication of recreation land or a fee in lieu of dedication applies to the proposed development (SLDO 480-35).
19. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording** until this information is emailed to planningreviews@ccpa.net. Links to online file downloads are acceptable. Applicants are required to provide the following files:
 - **Parcel boundaries**
 - **Lot lines**
 - **Building footprints**
 - **Road rights-of-ways**
 - **Edge of pavement**
 - **Declaration of planned communities/condominiums documents (including amendments)**

LEMOYNE TACO BELL

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

655 NORTH 12TH STREET
BOROUGH OF LEMOYNE
CUMBERLAND COUNTY, PENNSYLVANIA

COUNTY PLANNING COMMISSION REVIEW:

THIS PLAN REVIEWED BY THE CUMBERLAND COUNTY PLANNING COMMISSION.
THIS _____ DAY OF _____ 2022.

CHAIRMAN _____

BOROUGH ENGINEER REVIEW:

THE PLAN REVIEWED BY THE LEMOYNE BOROUGH ENGINEER THIS _____ DAY
OF _____ 2022.

TOWNSHIP ENGINEER _____

BOROUGH PLANNING COMMISSION REVIEW:

THIS PLAN RECOMMENDED FOR THE APPROVAL BY THE LEMOYNE BOROUGH
PLANNING COMMISSION THIS _____ DAY OF _____ 2022.

CHAIRMAN _____

SECRETARY _____

BOROUGH COUNCIL APPROVAL:

THIS PLAN APPROVED BY THE LEMOYNE BOROUGH COUNCIL, AND ALL CONDITIONS
IMPOSED WITH THE RESPECT TO SUCH APPROVAL WERE COMPLETED ON:
THIS _____ DAY OF _____ 2022.

PRESIDENT _____

SECRETARY _____

ACKNOWLEDGEMENT OF PLAN, STATEMENT OF OWNERSHIP:

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF _____

ON THIS THE _____ DAY OF _____ 20____, BEFORE ME THE
UNDERSIGNED PERSONALLY APPEARED.

OWNER _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE
THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY
ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO
BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

ACKNOWLEDGEMENT OF PLAN, STATEMENT OF EQUITABLE OWNERSHIP:

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF _____

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UNDERSIGNED PERSONALLY APPEARED.

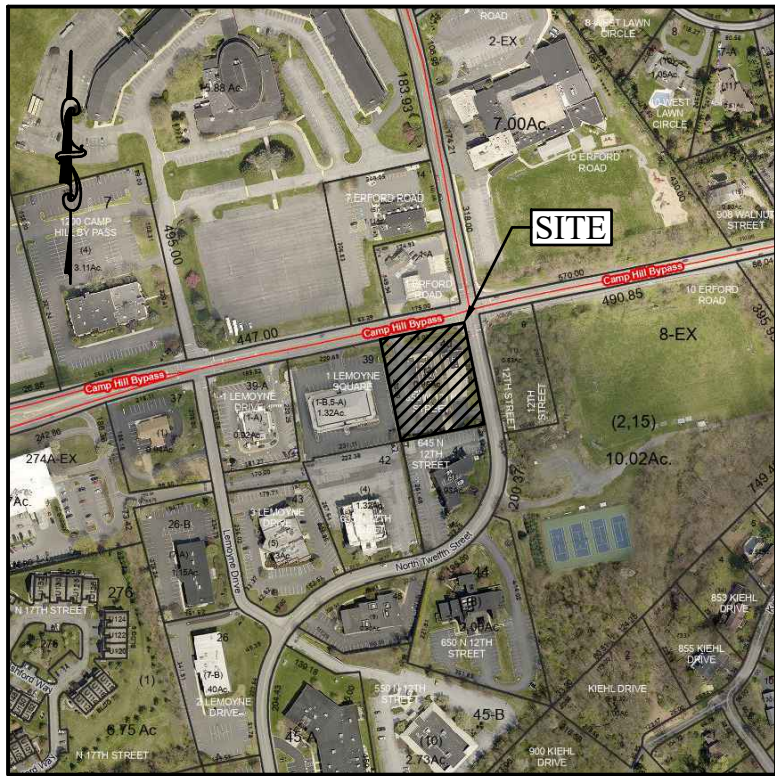
EQ. OWNER _____

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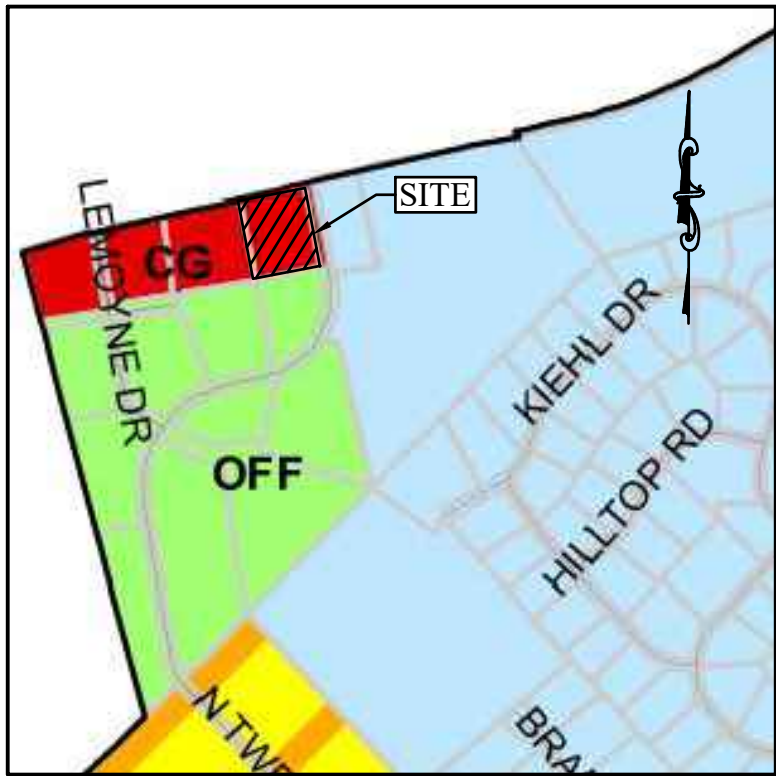
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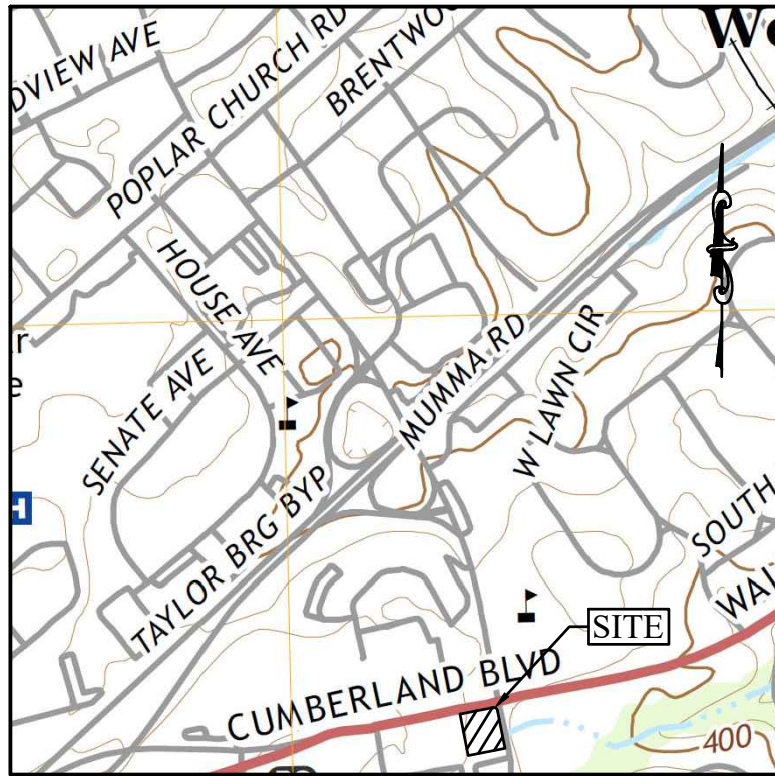
MY COMMISSION EXPIRES _____



CUMBERLAND COUNTY TAX MAP
NOT TO SCALE



ZONING MAP
NOT TO SCALE



USGS MAP
SCALE: 1" = 1,000'

PREPARED FOR:

LEMOYNE INVESTORS, LLC
14 BALLIGOMINGO ROAD
CONSHOHOCKEN, PA 19428

PREPARED BY:



THE PETTIT GROUP, LLC
Engineering • Architecture • Planning

497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com

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Certificate of Authorization No. 24GA28131400

REVISIONS		
NO.	DESCRIPTION	DATE

FOR APPROVAL
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT THE OWNER'S SOLE RISK, AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDemnIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-272-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY: BWC	JOB NO: 1061-083
DRAWN BY: BWC	DATE: 08/17/22
CHECKED BY: BWC	SCALE: NTS

TACO BELL
LAND DEVELOPMENT
655 N. 12TH STREET
PARCEL ID: 12-20-1856-040
BOROUGH OF LEMOYNE
CUMBERLAND COUNTY
PENNSYLVANIA
FOR
LEMOYNE INVESTORS, LLC
14 BALLIGOMINGO ROAD
CONSHOHOCKEN, PA 19428

BRIAN W. CLEARY, PE
Professional Engineer
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

COVER SHEET

1 of 9

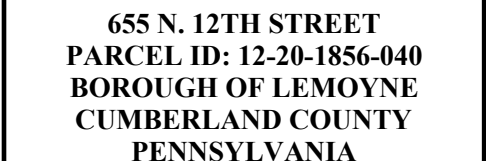
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1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN TAKEN FROM VARIOUS SOURCES AND IS SHOWN FOR DESIGN AND ESTIMATING PURPOSES ONLY. ACTUAL LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION, ANY/ALL DISCREPANCIES SHALL BE REPORTED TO ENGINEER IN WRITING PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE UTILITIES AND RECORDING THE SAME. A WRITTEN NOTICE SHALL BE FORWARDED TO THE OWNER SETTING FORTH THE DATE OF CONTACT. CONTRACTORS ARE ADVISED TO CALL 1-800-272-1000 BEFORE COMMENCING FOR A MARKOUT OF EXISTING UTILITIES.
2. CONTRACTOR SHALL REVIEW ALL PLAN SHEETS TO DETERMINE IF THE EXTENT OF IMPROVEMENTS TO BE REMOVED, AS INDICATED ON THIS PLAN, CORRECTLY REFLECTS THE DESIGN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER DURING THE BID PHASE.
3. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES PRIOR TO DEMOLITION.
4. CONTRACTOR TO COORDINATE ALL UTILITY REMOVAL(S) AND SHUT-OFF(S). (TYPICAL)
5. CONTRACTOR TO COORDINATE WITH ALL APPLICABLE AGENCIES DURING THE DEMOLITION OF EXISTING BUILDINGS.
6. TEST PITS SHALL BE EXCAVATED PRIOR TO CONSTRUCTION TO LOCATE UNDERGROUND UTILITIES.
7. ANY REQUIRED UTILITY POLE RELOCATIONS FOR THE PROPOSED IMPROVEMENTS SHALL BE COMPLETED AT NO EXTRA COST TO THE OWNER. CONTRACTOR SHALL PROVIDE ALL NECESSARY ARRANGEMENTS FOR UTILITY POLE RELOCATION.
8. THE CONTRACTORS ARE ADVISED THAT ANY REQUIRED UNDERGROUND UTILITY RELOCATIONS INCLUDING GAS MAINS AND SERVICES, WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, ELECTRIC AND TELEPHONE LINES SHALL BE COMPLETED AT NO COST TO THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.
9. EXISTING UTILITIES INCLUDING VAULT BOXES, CLEAN OUTS, CURBS, STORMS, MANHOLES, ETC., SHALL BE ADJUSTED TO MATCH PROPOSED EXISTING GRADE. EXISTING UTILITIES SHALL BE ADJUSTED TO MATCH ADJUSTED UNLESS SPECIFICALLY CALLED FOR. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
10. SUPPORT AND STABILIZATION OF REMAINING STRUCTURES SHALL CONFORM TO IBC 2009.
11. ALL DEMOLITION TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
12. NO DISTURBANCES SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER(S) DIRECTLY AFFECTED.
13. CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AFFECTED BY DEMOLITION. CONTRACTOR TO RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO START OF WORK.
14. THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND MATERIALS REMOVED FROM THE PROJECT. DEBRIS, C&G (VEGETATION), TREE STUMPS, OR ANY OTHER SOIL WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ON SITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OFF SITE. MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT AN APPROVED FACILITY.
15. EXISTING TOPSOIL ON SITE IS TO BE PROTECTED, NO TOPSOIL IS TO BE SOLD OR REMOVED FROM THE SITE OR USED AS SPOIL. UNLESS APPLICATION IS MADE TO THE APPROVING AUTHORITY AND APPROVAL IS GRANTED.
16. PROJECT SITE TO BE CLEARED ONLY AS REQUIRED. EXISTING TREES SHALL BE PROTECTED ALONG WITH ALL EXCAVATION AND CONSTRUCTION LINE LIMITS.
17. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIAL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT AND OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
18. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION THE REQUIRED DEMOLITION. THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY APPLICABLE UTILITY COMPANIES TO ENSURE CONTINUATION OF SERVICE.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES TO BE REMOVED. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL MUNICIPAL AND MUA SPECIFICATIONS.
20. IF NOTED TO REMOVED, EXISTING BUILDING SHALL BE DEMOLISHED INCLUDING ALL BASEMENT FOOTINGS AND FOUNDATION WALLS & MATERIALS. (BASEMENT MATERIAL SHALL BE REMOVED FROM SITE AND NOT USED FOR FILL).
21. THE ON-SITE SOILS WHICH ARE EXCAVATED FOR SITE GRADING MAY BE USED FOR STRUCTURAL FILL FOR SUPPORT OF SLAB-ON-GRADE AND PAVEMENT. HOWEVER, THESE SOILS CONTAIN A APPRECIABLE AMOUNT OF FINES AND WILL BE MOISTURE SENSITIVE. THEREFORE, USAGE OF THE ON-SITE SOIL WILL BE LIMITED TO PERIODS OF WARM AND DRY WEATHER. IF SUCH BREAK DOWNS EXCESSIVELY UNDER THE LIFT, CRUSHED STONE OR RECYCLED CRUSHED CONCRETE MEETING THE REQUIREMENTS OF PADOT course AGGREGATE NO. 2A SHOULD BE USED.
22. STRUCTURAL FILL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT MORE THAN 6 INCHES IN LOOSE THICKNESS. WITHIN THE BUILDING AREA, THE STRUCTURE TO BE DEMOLISHED SHALL BE CONTRACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY THE "MODIFIED PROCTOR" COMPACTION TEST, ASTM D 1557. ALTERNATIVELY, EACH LIFT OF IMPORTED CRUSHED STONE SHOULD BE COMPACTED TO AT LEAST 85 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY ASTM D 4254 / OR THE US ARMY CORPS OF ENGINEERS MODIFIED PROVIDENCE VIBRATED FREQUENCY TEST. THE RELATIVE DENSITY METHOD IS USED FOR FREE-DRAINING SOILS WHICH TO NOT EXHIBIT A WELL-DEFINED PEAK IN THE COMPACTION TEST, OR WHICH BREAK DOWN EXCESSIVELY UNDER THE TEST RAMMER. STRUCTURAL FILL SHOULD BE COMPACTED USING A SELF-PROPELLED, VIBRATORY ROLLER WHICH IMPARTS A TOTAL VIBRATORY FORCE OF 10,000 LB. PER INCH OF DRUM LENGTH. IN CONFINED AREAS, WHERE SMALLER ROLLERS OR MANUALLY OPERATED TAMPERS ARE USED, THE LIFT THICKNESS SHOULD BE REDUCED TO 6 INCHES.
23. BACKFILL AROUND THE EXTERIOR OF THE BUILDING, AND FILL IN PAVEMENT AREAS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY THE "MODIFIED PROCTOR" TEST. BACKFILL SHOULD BE USED FOR EXTERIOR BACKFILL.

[illegible]

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THIS CONTRACT AND WILL BE CONSIDERED TO HAVE BEEN DELIVERED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON ANY FUTURE PROJECT WITHOUT OBTAINING WRITTEN PERMISSION FROM THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE OF SUCH REUSE. NO LIABILITY OR LEGAL EXPENSE TO THE PETTIT GROUP, LLC SHALL BE INCURRED BY IT IF IT IS USED AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM SUCH REUSE.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH WORK AND NOTIFY THE OWNER OF ANY DEFICIENCIES IMMEDIATELY. THE CONTRACTOR AGREES THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE NOT ALWAYS ACCURATE AND THEREFORE, NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO THE COMMENCEMENT OF START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITY MARK OUT SERVICE (1-800-727-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND REMEDIATING DAMAGED UTILITIES RESULTING FROM HIS WORK.



A circular professional engineer seal for the Commonwealth of Pennsylvania. The outer ring contains the text "COMMONWEALTH OF PENNSYLVANIA". The inner circle contains the text "REGISTERED PROFESSIONAL ENGINEER" around the top and "BRIAN W. CLEARY" in the center. Below the name is the text "No. 000101". The seal is signed with a large, stylized signature across it.

EX. CONDITIONS & DEMOLITION PLAN

20 0 20 40

SCALE 1" = 20' FEET

CAMP HILL BYPASS
(A.K.A. U.S. ROUTES 11 & 15)
(F.K.A. L.R. 708)
(100' WIDE R.O.W.)

ASPHALT ROADWAY
TWO WAY TRAFFIC
LEFT LINE MUST TURN LEFT

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INV: 431.25

INLET #117
TYPE 'C'
INV: 431.25

INLET #118
TYPE 'C'
INV: 431.25

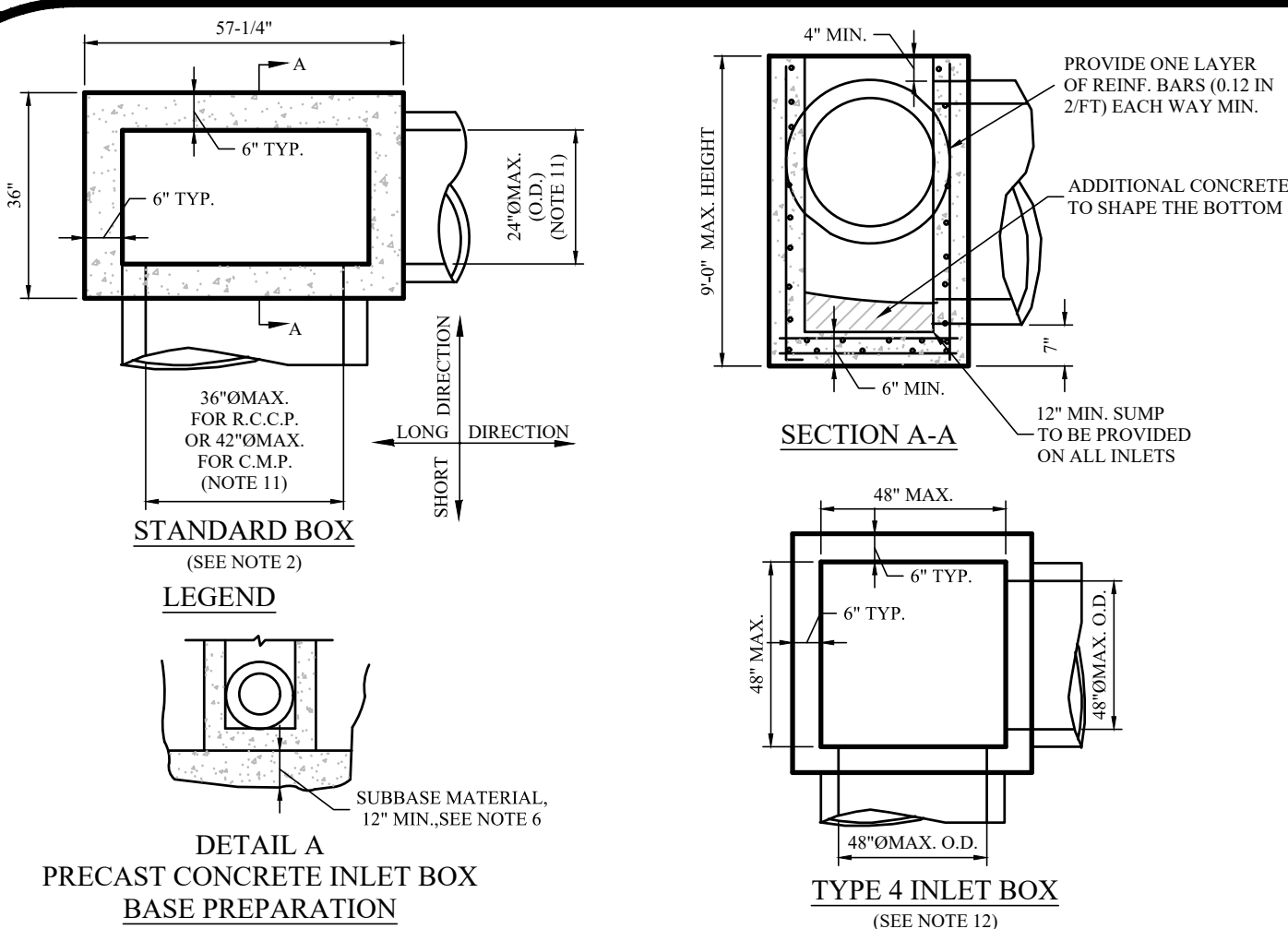
INLET #119
TYPE 'C'
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INLET #120
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2. ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE FROM BUILDINGS AND STRUCTURES TO DRAINAGE FACILITIES WITHOUT LOW SPOTS THAT CAUSE PONDING.
3. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 0.75%.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES SHOWN. THE CONTRACTOR SHALL EMPLOY ALL MEANS NECESSARY, INCLUDING TEST PITS, TO LOCATE AND AVOID DAMAGE TO ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL NOT BUILD ANY EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL REPORT THE CONFLICT TO THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH ANY CONSTRUCTION.
5. ALL ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
6. THE CONTRACTOR SHALL BACKFILL HIS TRENCH AND PROTECT THE PUBLIC FROM THE WORK AREA AT THE END OF EACH WORKING DAY. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
7. ALL SANITARY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED. MINIMUM COVER OVER PVC AND DUCTILE IRON SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET. ALL SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS DETAILLED.
8. WATER MAINS AND SANITARY SEWER SHALL BE SEPARATED BY 10 FEET EXCEPT WHEREEVER POSSIBLE. OTHERWISE, THE SEWER AND WATER SHALL BE IN SEPARATE TRENCHES WITH THE SEWER 18" BELOW THE BOTTOM OF THE WATER MAIN. AT WATER AND SEWER CROSSINGS, THE SEWER SHALL BE 18" MINIMUM BELOW THE WATER OR SEWER MAIN SHALL BE C.L.D.P.I. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET EACH SIDE OF THE CROSSING. WHERE THE SANITARY SEWER CROSS OVER OR WITHIN 18" UNDER A STORM PIPE, THE SANITARY SEWER SHALL BE C.L.D.P.I. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET EACH SIDE OF THE CROSSING.
9. REINFORCED CONCRETE PIPE SHALL BE CLASS III OR EXACT HOWEVER NOTED.
10. REFER TO ARCHITECTURAL DRAWINGS FOR EXIST BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
11. CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.
12. ALL INLET GRATES SHALL BE BICYCLE-SAFE GRATES.
13. IF AN INFILTRATION BASIN IS PROPOSED, THE CONSTRUCTION OF THE PROPOSED BASIN SHALL BE DONE WITHOUT COMPACTING THE BASIN'S SUB-GRADE SOILS. ALL EXCAVATION SHALL BE PERFORMED BY EQUIPMENT PLACED OUTSIDE THE BASIN WHENEVER POSSIBLE. A POST CONSTRUCTION SOIL PERMEABILITY TEST SHALL BE CONDUCTED WITH THE MOST HYDRAULICALLY RESTRICTIVE LAYER TO DETERMINE IF THE INFILTRATION BASIN WILL FUNCTION AT THE DESIGN PERMEABILITY RATE.
14. BACKFILL AROUND ALL PROPOSED UTILITIES, AND ASSOCIATED STRUCTURES, SHALL BE COMPACTED TO THE MINIMUM OF THE MAXIMUM DRY DENSITY DETERMINED BY THE "MODIFIED PROCTOR" COMPACTION TEST, ASTM D 1557.
15. **ADA GRADING NOTE:** ALL HANDICAPPED ACCESSIBLE AREAS SHALL BE GRADED WITH A 2% MAXIMUM SLOPE IN ANY DIRECTION.

SHOULD THESE PLANS DEPICT FEASIBLE LOCATIONS FOR PROPOSED ELECTRIC, GAS, AND TELECOMM UTILITY SERVICE CONNECTIONS, THEY SHALL ONLY BE UTILIZED FOR BIDDING PURPOSES. THE CONTRACTOR SHALL NOTE THAT THE FINAL UTILITY SERVICE DESIGNS MUST BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDERS AND THEREFORE, ARE SUBJECT TO CHANGE BASED UPON THE PREFERENCE OF THE UTILITY PROVIDER.

1. THE PROJECT HAS BEEN DESIGNED TO MATCH EXISTING GRADES TO THE GREATEST EXTENT POSSIBLE TO ALLOW FOR SITE DRAINAGE PATTERNS TO REMAIN AS EXISTING.
2. THE PROPOSED IMPROVEMENTS WILL RESULT IN A DECREASE IN THE AMOUNT OF IMPERVIOUS AREA BY 6,781 SF. THE EXISTING IMPERVIOUS COVERAGE IS 32,903 SF. THE PROPOSED IMPERVIOUS COVERAGE IS 26,122 SF. DUE TO THE DECREASE IN IMPERVIOUS COVER, THE PROPOSED DISCHARGE OFF-SITE WILL BE REDUCED POST-DEVELOPMENT. THEREFORE, NO STORMWATER MANAGEMENT FACILITIES ARE PROPOSED.



The drawing consists of several views of a precast concrete curb:

- Top View:** Shows a rectangular curb with a "NO DUMPING" label. Dimensions include a width of 57-1/4" and a depth of 36-1/2". A 1/2" gap is shown between the curb and the adjacent surface.
- Side View (N.T.S.):** Shows the curb's profile with a height of 6". It includes a 3-1/2" (TYP) dimension for the top edge and a 1/2" gap at the base.
- Front Elevation View (N.T.S.):** Shows the curb's front face with a height of 6" and a 1/2" gap at the base.
- Plan View (N.T.S.):** Shows the curb's top surface with dimensions of 7-1/2", 42-1/4", and 7-1/2". It includes a 1/2" gap and a 1/2" dimension for the curb's thickness.
- Section A-A (N.T.S.):** Shows a cross-section of the curb with dimensions of 6", 45-1/4", and 1/2". It includes a 1/2" dimension for the curb's thickness and a 1/2" dimension for the gap.
- Section B-B (N.T.S.):** Shows a cross-section of the curb with dimensions of 6", 42-1/4", and 1/2". It includes a 1/2" dimension for the curb's thickness and a 1/2" dimension for the gap.
- Dowel Hole Locations (N.T.S.):** Shows the locations of dowel bars with dimensions of 18" MIN, 3-1/2", 1-1/2", 2-1/2", 24", 1-1/2", 18" MIN, and 1/2" x 1/2" x 6" (MIN).

Labels include "NO DUMPING" PLATE, "NO DUMPING", "PLAN VIEW N.T.S.", "SECTION A-A N.T.S.", "SECTION B-B N.T.S.", "DOWEL HOLE LOCATIONS N.T.S.", "SIDE VIEW N.T.S.", "FRONT ELEVATION VIEW N.T.S.", "GUTTER GRADE POINT 31-1/2\"", "NORMAL GUTTER SLOPE 0.02/FIT", and "18\" MIN."

[illegible]

PENNDOT BICYCLE SAFE GRATE
N.T.S.

[illegible]

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


TACO BELL
LAND DEVELOPMENT

655 N. 12TH STREET
PARCEL ID: 12-20-1856-040
BOROUGH OF LEMOYNE
CUMBERLAND COUNTY
PENNSYLVANIA



BRIAN W. CLEARY, PE
Professional Engineer
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

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Schedule										
Symbol	Label	Quantity	Height	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	1	30'-0"	RAB LIGHTING INC.	ALED2T125N (TYPE II)	CAST FINNED METAL HOUSING, 6 CHIP ON BOARD LIGHT EMITTING DIODES, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH, CLEAR GLASS LENS IN CAST BRONZE PAINTED METAL FRAME.	6	2552	1	132.1
		1	30'-0"	RAB LIGHTING INC.	ALED3T125N (TYPE III)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	6	2394	1	132.7
	C	4	30'-0"	RAB LIGHTING INC.	ALED4T125N (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	6	2626	1	133.2
Notes										
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min				
Zone #1	+	1.5 ft	6.3 ft	0.0 ft	N/A	N/A				

1. POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE BOROUGH FOR REVIEW AND APPROVAL.
2. THE BOROUGH RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CHAPTER REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE BOROUGH, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE BOROUGH.
3. ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE BOROUGH.
4. INSTALLER SHALL NOTIFY THE BOROUGH TO ARRANGE FOR INSPECTION AND APPROVAL OF ALL EXTERIOR LIGHTING, INCLUDING BUILDING-MOUNTED LIGHTING, PRIOR TO ITS INSTALLATION.
5. THIS PLAN ILLUSTRATES LUMINAIRE LOCATIONS AND ILLUMINATION LEVELS ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
6. ALL SUBSTITUTIONS TO THE FIXTURES SPECIFIED MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURES IN QUESTION WILL MEET THE DESIGN INTENT OF THE PLAN. VERIFICATION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.

4. ALL DISTURBED AREAS ARE TO BE STABILIZED WITH 6" OF TOPSOIL. IN ADDITION TO BEING SEEDED WITH THE SEED MIXTURE NOTED ON THE SOIL EROSION PLAN(S) (AFTER FINAL GRADING).
5. ALL SEEDED AREAS SHALL BE LIMED AND FERTILIZED AT THE RATE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE MUNICIPAL ENGINEER OR THE CONSERVATION DISTRICT OR AT THE RATES SPECIFIED ON THE "SOIL EROSION AND SEDIMENT CONTROL AND DRAINAGE AREA PLAN".
6. LOCATION OF PROPOSED PLANT MATERIAL MAY BE ADJUSTED IN FIELD BY THE LANDSCAPE CONTRACTOR ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT OR APPROVING ENGINEER.
7. ALL SHADE TREES SHALL BE PLANTED IN A DORMANT STATE.
8. THE PLANTING HOLE BACKFILL MIX SHALL CONSIST OF 2 PARTS TOPSOIL, 1 PART PEAT MOSS, EXCEPT IN WET SOILS WHERE SAND WILL REPLACE THE PEAT MOSS.
9. ALL PLANT MATERIAL SHALL BE WATERED UNTIL SOAKED IMMEDIATELY AFTER PLANTING.
10. ALL MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH COMMONLY ACCEPTED HORTICULTURAL PRACTICES.
11. SEE SOIL EROSION PLAN(S) FOR GRASS SEEDING MIXTURE, RATES OF APPLICATION AND/OR SOD COMPOSITION.
12. ALL PLANTS AND PLANTING STANDARDS SHALL CONFORM TO OR SURPASS MINIMUM QUALITY STANDARDS AS DEFINED BY THE CURRENT CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK ESTABLISHED BY AN APPROVED AGENCY.
13. SHOULD A SPECIES BE UNAVAILABLE AT THE TIME OF INSTALLATION, AN SUBSTITUTION ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR APPROVING ENGINEER.
14. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED ON THE PLANT LIST AND AS INDICATED ON THE PLAN, THE PLANT QUANTITIES ON THE PLAN SHALL GOVERN.
15. ALL PAYING AND SUBBASE MATERIAL, INDICATED TO BE REMOVED SHALL BE ENTIRELY REMOVED AND REPLACED WITH CLEAN FILL AND TOPSOIL. TOPSOIL SHALL BE INSTALLED TO A DEPTH AS STATED ABOVE.
16. ALL PROPOSED PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR THREE YEARS FROM DATE OF INSTALLATION AND SHALL BE IN A HEALTHY AND VIGOROUS CONDITION, ANY PLANT MATERIAL WHICH DIES WITHIN THAT PERIOD SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL DURING THE NEXT GROWING SEASON.
17. ALL SHADE TREES TO BE PLANTED IN A MULCHED PLANTING RING SHALL BE EVERGREEN AND ORNAMENTAL TREES SHALL BE PLANTED IN PLANTING BEDS.

