



PLANNING DEPARTMENT
Cumberland County

**Cumberland County
Subdivision and Land Development
Review Report**

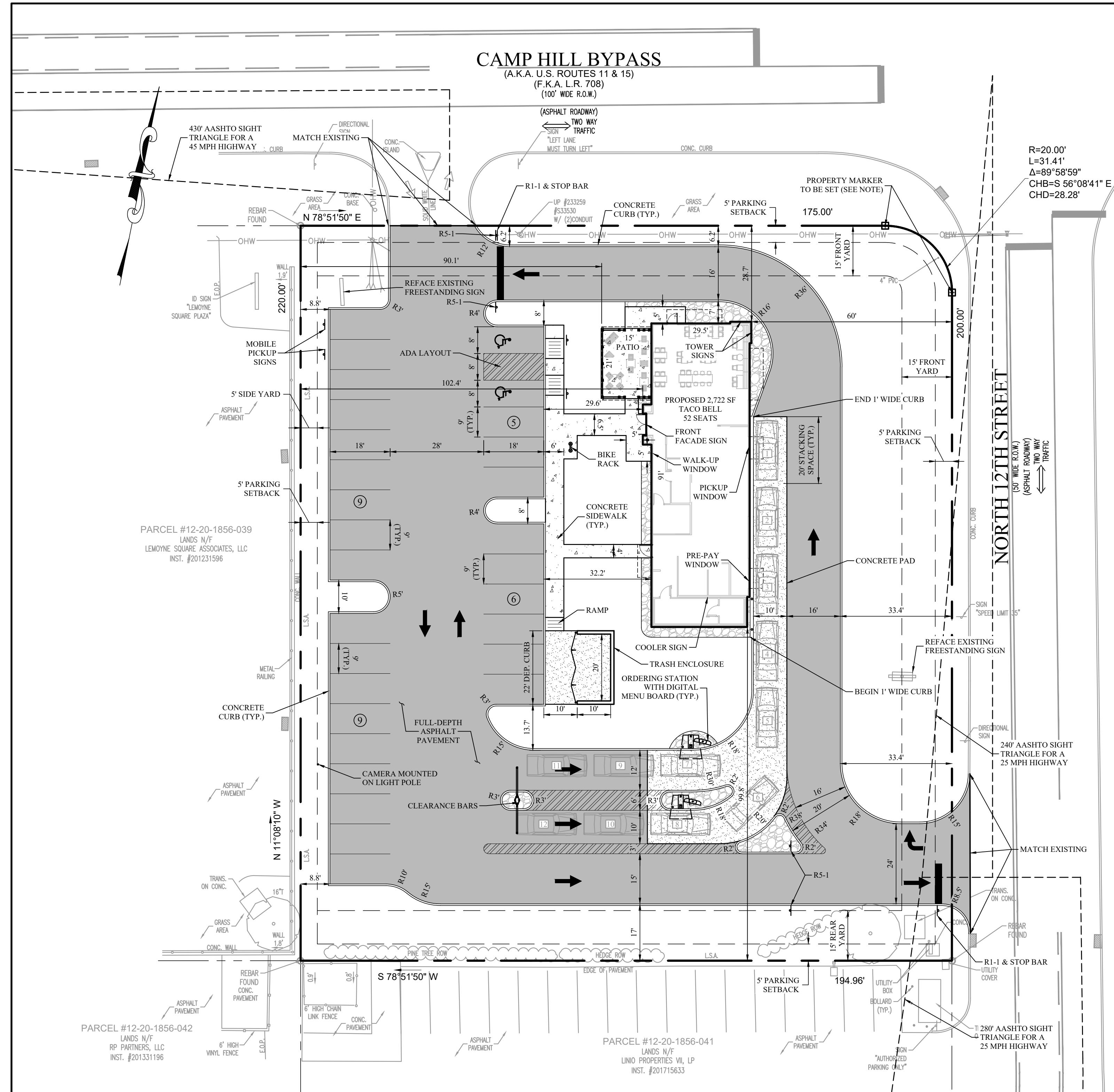
Cumberland County Planning Department
310 Allen Road, Suite 101
Carlisle, PA 17013
Telephone: (717) 240-5362

Municipality:	Date Received:	Date Reviewed:	Reviewed By:	Plan Number:
Lemoyne Borough	8/17/2022	9/1/2022	SH	22-111
<i>Plan Title:</i>				
<i>Taco Bell</i>				
Plan Status:	<i>Plan Type:</i>			<i>Land Development Plan</i>
<i>Comments and Recommendations:</i>				

1. All applicable zoning overlay districts should be included in the zoning schedule on sheet 3 (zoning 550-6.A).
2. It appears that the trash enclosure is located behind the parking stalls. The applicant should verify that the garbage haulers will be able to access the dumpster for trash collection (zoning 550-35.A and 550-45.C).
3. Lighting for nonresidential uses should not exceed 0.5 footcandles at the property line. The borough should verify compliance (zoning 550-49.B.9.E).
4. The applicant should review the landscaping and lighting plan. The west side of the parking lot proposes a tree in a parking space (zoning 550-67.B.2.A.5).
5. The outdoor dining area (patio) should not exceed 30% of the interior restaurant floor space dedicated to customer seating (zoning 550-88.G.3.D). The plan should include proof of compliance.
6. Trash receptacles should be provided in the patio area (zoning 550-88.G.3.H).
7. The plan should include separate blocks for variances (from zoning) and waiver requests (from SLDO). The variances block listed on sheet 3 include several waiver requests (SLDO 480-9.A.2.C).
8. The Cumberland County Tax Map, zoning map and USGS map should include a scale. The project location should be centered on the USGS map (SLDO 480-9.A.10.A.4).
9. The review block for the 'County Planning Commission Review' will be signed by the Director of Planning. The signature line for the chairman should be removed (SLDO 480-9.A.10.A.10).
10. The zoning map on the cover sheet should include a legend identifying the zones (OFF and CG). In addition, all of the zoning districts should be identified (SLDO 480-9.A.10.A.13).
11. The plan should include a note addressing the anticipated sewage flow rates and the Pennsylvania DEP sewage planning requirements (SLDO 480-9.A.11.A).
12. A waiver of the stormwater management report is requested. The plan should note the existing impervious cover and compare to the proposed impervious cover. We recommend that the

borough only consider the waiver request if the proposed coverage is equal to or less than the existing coverage (SLDO 480-12.D).

13. The borough should consider the safety of pedestrians when reviewing the waiver request for sidewalks. Employees from nearby businesses as well as nearby residents may use sidewalks in the area. Sidewalks should be provided along the Camp Hill Bypass and North 12th Street (SLDO 480-21).
14. The clear sight triangles should be shown on the plan at street intersections and access drive intersections. The borough should verify that the clear sight triangle will be maintained. The plan should include a statement protecting the clear sight triangle as indicated in SLDO 19.H.5.F (zoning 550-65.K.3, SLDO 480-19.H.5.F and SLDO 480-24.B.3.H).
15. The caliper size of each proposed deciduous tree should be provided on the landscaping and lighting plan (SLDO 480-33.C.1).
16. A minimum of 2 planting units is required for every 1,000 square feet of building coverage. The cover sheet and/or the landscaping plan should include proof of compliance (SLDO 480-33.E.3.A.2).
17. A community lighting system should be installed along one side of the street and at all intersections. The applicant and the borough should determine whether these lights are required (SLDO 480-34.C.1).
18. The borough should determine whether the dedication of recreation land or a fee in lieu of dedication applies to the proposed development (SLDO 480-35).
19. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording** until this information is emailed to planningreviews@ccpa.net. Links to online file downloads are acceptable. Applicants are required to provide the following files:
 - **Parcel boundaries**
 - **Lot lines**
 - **Building footprints**
 - **Road rights-of-ways**
 - **Edge of pavement**
 - **Declaration of planned communities/condominiums documents (including amendments)**



GENERAL NOTES

1. OWNER/APPLICANT:
LEMOYNE INVESTORS, LLC
14 BALLIGOMINGO ROAD
CONSHOHOCKEN, PA 19428
2. EXISTING CONDITIONS TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY FOR #655 NORTH 12TH STREET, PARCEL #12-20-1856-040", BY BLUE MARSH ASSOCIATES, INC., DATED SEPTEMBER 28, 2021.
4. APPLICANT SEEKS SITE PLAN APPROVAL SO AS TO PERMIT CONSTRUCTION OF TACO BELL RESTAURANT AND ASSOCIATED SITE IMPROVEMENTS.
5. PROPOSED BUILDINGS TO BE SERVICED WITH EXISTING SEWER AND WATER LINES.
6. NEW UTILITY LINES (GAS, ELECTRIC) ARE PROPOSED TO SERVICE THE BUILDINGS. ALL ELECTRIC, TELEPHONE, AND CABLE SERVICE LINES SHALL BE UNDERGROUND.
7. ELEVATION DATUM IS NAVD 88.
8. THE PROPERTY DOES NOT FALL WITHIN A FLOOD PLAIN ZONE ACCORDING TO THE MOST RECENT FEMA FIRM MAP 42041C0118E.
9. THERE ARE CURRENTLY NO STREAMS, WETLANDS, ROCK OUTCROPS, SOIL SUBSIDENCE, CONTAMINATED SOILS, STEEP SLOPES, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED ON THE SUBJECT PROPERTY BASED UPON A SITE VISIT.
10. THERE ARE CURRENTLY NO KNOWN DEED RESTRICTIONS OR COVENANTS ASSOCIATED WITH THE SUBJECT PROPERTY.
11. MARKERS SHALL BE 3/4 OF AN INCH SQUARE OR 3/4 OF AN INCH IN DIAMETER, 15 INCHES LONG, AND BE MADE OF IRON PIPES OR IRON OR STEEL BARS.
12. REQUIRED OUTSIDE AGENCY REVIEW/APPROVALS:
 - a. CUMBERLAND COUNTY PLANNING BOARD
 - b. CUMBERLAND COUNTY SOIL CONSERVATION DISTRICT

BOROUGH OF LEMOYNE ZONING SCHEDULE

ZONE CG - COMMERCIAL GENERAL
RESTAURANT IS A PERMITTED USE - §550-22 TABLE 550-5-2
DRIVE-THRU FACILITY FOR PERMITTED USE IS A PERMITTED ACCESSORY USE - §550-22 TABLE 550-5-2
OUTDOOR CAFÉ/DINING IS A PERMITTED ACCESSORY USE - §550-22 TABLE 550-5-2

<u>ITEM</u>	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>ORDINANCE</u>
LOT REQUIREMENTS:			
MIN. LOT AREA (SF)	2,000	42,809 (0.983 AC.)	§550-23
MIN. LOT WIDTH (CORNER LOT) (FT)	35	195	§550-23
BUILDING SETBACKS & HEIGHT:			
MIN. FRONT YARD (FT)	15	28.7	§550-23
MIN. SIDE YARD (FT)	5	90.5	§550-23
MIN. REAR YARD (FT)	15	99.8	§550-23
MAX. BLDG HEIGHT (FT)	40	24	§550-23
MAX. IMPERVIOUS COVERAGE (%)	70	61 (26,122 SF)	§550-23
MIN. VEGETATIVE COVERAGE (%)	25	39 (16,687 SF)	§550-23
PARKING SETBACKS:			
FROM ANY RIGHT-OF-WAY (FT)	5	6.2	§550-67.B(1)(b)[4]
FROM LOT LINE (FT)	5	8.8	§550-67.B(1)(b)[4]
FROM BUILDINGS (FT)	5	29.6	§550-67.B(1)(a)
SIGNAGE:			
FACADE SIGNS			
MAX. TOTAL SIGN AREA (SF)	15% WALL AREA	WALL AREA = 1,377	§550-62.C(2)(a)[3]
TOTAL SIGN AREA (SF)	206.55	86.15	§550-62.C(2)(a)[3]
LANDSCAPING:			
MAX. PARKING SPACES IN A ROW W/O LANDSCAPE ISLAND	10	10	§550-67.B(2)(a)[4]

PARKING REQUIREMENTS

PARKING:			
MIN. STANDARD SPACE SIZE (90 DEGREE PARKING) (FT)	9 x 18	9 x 18	§550-67.B(3)(a)[1]
MIN. AISLE WIDTH (90 DEGREE PARKING) (FT)	24	28	§550-67.B(3)(a)[1]
PARKING CALCULATION FOR FAST FOOD RESTAURANT	1 PER 2 SEATS + 1 PER 2 EMPLOYEES ON PEAK SHIFT	52 SEATS + 6 EMPLOYEES	§550-66.A
TOTAL NUMBER OF SPACES	29	29	
LOADING SPACES:			
MIN. NUMBER OF SPACES FOR COMMERCIAL USE < 10,000 SF	0	0	§550-72.E
STACKING SPACES:			
MIN. VEHICLE LENGTHS BEHIND MENU BOARD	4	3*	§550-73.G
MIN. VEHICLE LENGTHS BEHIND PICK-UP WINDOW	4	6	§550-73.G

VARIANCES

1. SUBMISSION WAIVER ARE REQUESTED FROM THE FOLLOWING:
 - a. SECTION 480-9.A(10)(a)[23] - FROM PROVIDING THE TYPES AND SIZES OF ALL EXISTING UTILITIES.
 - b. SECTION 480-9.A(11)(d) - FROM PROVIDING UTILITY PROFILES.
 - c. SECTION 480-12.D - FROM PROVIDING A STORMWATER MANAGEMENT REPORT.
 - d. SECTION 480-12.F - FROM PROVIDING A STEEP SLOPE REPORT.
 - e. SECTION 480-12.G - FROM PROVIDING A TRAFFIC IMPACT STUDY.
 - f. SECTION 480-12.I - FROM PROVIDING AN ENVIRONMENTAL IMPACT ASSESSMENT REPORT.
2. DESIGN WAIVER ARE REQUESTED FROM THE FOLLOWING:
 - a. SECTION 460 - FROM PROVIDING STORMWATER MANAGEMENT.
 - b. SECTION 480-21.A - FROM PROVIDING SIDEWALKS.
2. VARIANCES WERE GRANTED FROM THE FOLLOWING ON JUNE 7, 2022:
 - a. SECTION 550-35.A.(1) - TO PERMIT A TRASH ENCLOSURE IN THE FRONT YARD BETWEEN THE PRINCIPAL BUILDING AND PUBLIC STREET (N. 12TH STREET).

* DENOTES VARIANCE GRANTED BY THE ZONING HEARING BOARD ON JUNE 7, 2022

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE MUNICIPAL, COUNTY OR STATE REGULATIONS, WHICHEVER TAKES PRECEDENCE.
2. THE MUNICIPAL ENGINEER'S OFFICE SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER ITS JURISDICTION.
3. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, INCLUDING THE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
4. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-272-1000.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER IMMEDIATELY.
6. ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI. OR AS REQUIRED BY THE APPROVAL AUTHORITY.
7. ALL TRENCHES IN PAVEMENT AREAS TO REMAIN ARE TO BE SAW CUT. ALL EXISTING PAVEMENT TO REMAIN SHALL BE SAW CUT TO MEET ALL NEW OR RECONSTRUCTED PAVEMENT AREAS.
8. WHERE NEW PAVEMENT IS PROPOSED ADJACENT TO EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT ONE (1) FOOT FROM THE EDGE TO PROVIDE A NEAT LINE AGAINST WHICH TO PAVE.
9. ALL TRAFFIC CONTROL SIGNAGE AND MARKINGS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. ALL SITE IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PENNDOT STANDARD SPECIFICATIONS.
11. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
12. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS.
13. TRAFFIC ARROWS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY UNLESS SPECIFICALLY STATED OTHERWISE.
14. CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-272-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL

RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.	
DESIGNED BY: BWC	JOB NO: 1061-083
DRAWN BY: BWC	DATE: 08/17/22
CHECKED BY: BWC	SCALE: 1" = 20'

The image features the iconic Taco Bell logo at the top, consisting of a stylized 'T' and 'B' in a grey gradient. Below the logo, the words 'TACO BELL' are written in a large, bold, black, outlined font. Underneath 'TACO BELL', the words 'LAND DEVELOPMENT' are written in a slightly smaller, bold, black, outlined font. At the bottom of the image, the address '655 N. 12TH STREET' is printed in a bold, black, sans-serif font. Below the address, the text 'PARCEL ID: 12-20-1856-040' is printed in a bold, black, sans-serif font. At the very bottom, the words 'BOROUGH OF LEMOYNE' and 'CUMBERLAND COUNTY' are printed in a bold, black, sans-serif font, with a small 'PA' in parentheses to the right of 'CUMBERLAND COUNTY'.

PENNSYLVANIA
FOR
LEMOYNE INVESTORS, LLC
14 BALLIGOMINGO ROAD

COMMONWEALTH OF
REGISTERED
PROFESSIONAL
BRIAN W. CLEARY
ENGINEER
No. PE08107
PENNSYLVANIA

BRIAN W. CLEARY, PE
Professional Engineer
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

State of Maryland - License # 5444

SITE PLAN

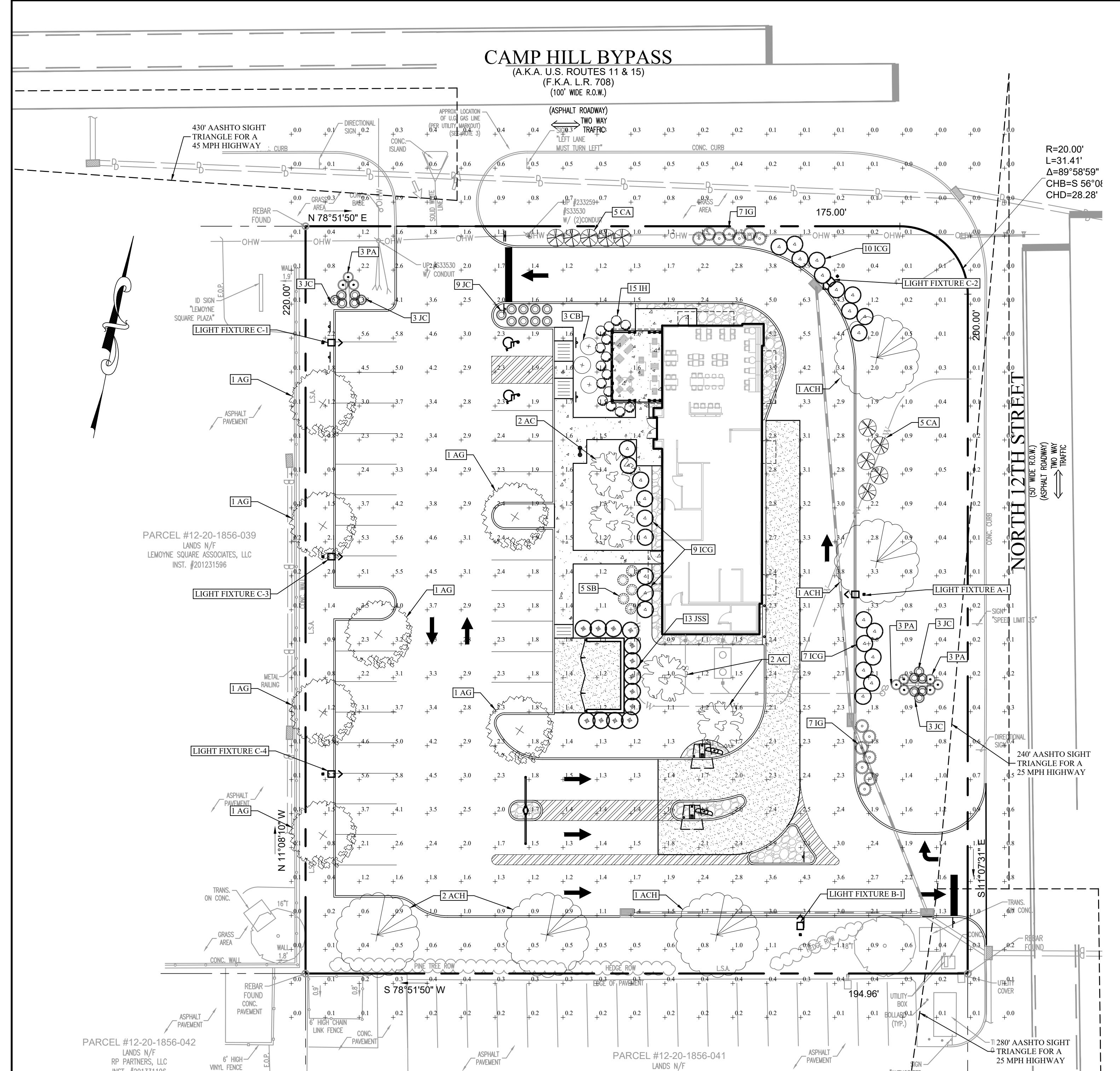
2000

3 of 9

113

0 0 20 40

SCALE $1" = 20'$ FEET



LANDSCAPE SCHEDULE							
key	quantity	botanical name	common name	size	caliper	root	comments
AC	4	<i>Amelanchier canadensis</i>	Downy Shadblow	8' to 10'	-	B & B, Heavy	Deciduous Tree
ACH	5	<i>Acer campestre</i>	Hedge Maple	10' to 12'	3.5"	B&B, Heavy	Deciduous Tree
AG	7	<i>Acer Ginnala "summer splendor"</i>	Amur Maple	8' to 10'	2 1/2"	B&B, Heavy	Deciduous Tree
CA	10	<i>Clethra alnifolia</i>	summer sweet Clethra	30" to 36"	-	Cans	Deciduous Shrub
CB	3	<i>Cornus alba "bailholo"</i>	Redtwig Dogwood "Ivory Halo"	30" to 36"	-	Cans	Deciduous Shrub
ICG	26	<i>Ilex crenata "Green Luster"</i>	Green Luster Japanese Holly	18" to 24"	-	Cans	Evergreen Shrub
IG	14	<i>Ilex glabra "Compacta"</i>	Compact Inkberry	18" to 24"	-	Cans	Evergreen Shrub
IH	15	<i>Ilex crenata helleri</i>	Dwarf Japanese Holly	18" to 24"	-	Cans	Evergreen Shrub
JC	21	<i>Juniperus chinensis "sargentii"</i>	Sargent Juniper	18" to 24"	-	Cans	Evergreen Groundcover
JSS	13	<i>Juniperus Scopulorum</i>	Skyrocket Juniper	6'	-	B & B	Evergreen Tree
PA	9	<i>Pennisetum alopecuroides</i>	Dwarf Fountain Grass	2 gal	-	Cans	Ornamental Grass
SB	5	<i>Spirea bumalda</i>	Anthony Waterer Spirea	18" to 24"	-	Cans	Deciduous Shrub

Symbol	Label	Quantity	Height	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
^ □ ▪	A	1	30'-0"	RAB LIGHTING INC.	ALED2T125N (TYPE II)	CAST FINNED METAL HOUSING, 6 CHIP ON BOARD LIGHT EMITTING DIODES, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH, CLEAR GLASS LENS IN CAST BRONZE PAINTED METAL FRAME.	6	2552	1	132.1
^ □ ▪	B	1	30'-0"	RAB LIGHTING INC.	ALED3T125N (TYPE III)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	6	2394	1	132.7
^ □ ▪	C	4	30'-0"	RAB LIGHTING INC.	ALED4T125N (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	6	2626	1	133.2

LIGHTING NOTES:

- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE BOROUGH FOR REVIEW AND APPROVAL.
- THE BOROUGH RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CHAPTER REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE BOROUGH, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE BOROUGH.
- ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA UNLESS OTHERWISE APPROVED BY THE BOROUGH.
- INSTALLER SHALL NOTIFY THE BOROUGH TO ARRANGE FOR INSPECTION AND APPROVAL OF ALL EXTERIOR LIGHTING, INCLUDING BUILDING-MOUNTED LIGHTING, PRIOR TO ITS INSTALLATION.
- THIS PLAN ILLUSTRATES LUMINAIRE LOCATIONS AND ILLUMINATION LEVELS ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
- ALL SUBSTITUTIONS TO THE FIXTURES SPECIFIED MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.

LANDSCAPE NOTES:

1. ALL DISTURBED AREAS ARE TO BE STABILIZED WITH 6" OF TOPSOIL IN ADDITION TO BEING SEEDED WITH THE SEED MIXTURE NOTED ON THE SOIL EROSION PLAN(S) (AFTER FINAL GRADING).
2. ALL SEEDED AREAS SHALL BE LIMED AND FERTILIZED AT THE RATE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE MUNICIPAL ENGINEER OR THE SOIL CONSERVATION DISTRICT, OR AT THE RATES SPECIFIED ON THE "SOIL EROSION AND SEDIMENT CONTROL AND DRAINAGE AREA PLAN".
3. LOCATION OF PROPOSED PLANT MATERIAL MAY BE ADJUSTED IN FIELD BY THE LANDSCAPE CONTRACTOR ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT OR APPROVING ENGINEER.
4. ALL SHADE TREES SHALL BE PLANTED IN A DORMANT STATE.
5. THE PLANTING HOLE BACKFILL MIX SHALL CONSIST OF 2 PARTS TOPSOIL, 1 PART PEAT MOSS, EXCEPT IN WET SOILS WHERE SAND WILL REPLACE THE PEAT MOSS.
6. ALL PLANT MATERIAL SHALL BE WATERED UNTIL SOAKED IMMEDIATELY AFTER PLANTING.
7. ALL MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH COMMONLY ACCEPTED HORTICULTURAL PRACTICES.
8. SEE SOIL EROSION PLAN(S) FOR GRASS SEEDING MIXTURE, RATES OF APPLICATION AND/OR SOD COMPOSITION.
9. ALL PLANTS AND PLANTING STANDARDS SHALL CONFORM TO OR SURPASS MINIMUM QUALITY STANDARDS AS DEFINED BY THE CURRENT CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
10. SHOULD A SPECIES BE UNAVAILABLE AT THE TIME OF INSTALLATION, ALL SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR APPROVING ENGINEER.
11. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED ON THE PLANT LIST AND AS INDICATED ON THE PLAN, THE PLANT QUANTITIES ON THE PLAN SHALL GOVERN.
12. ALL PAVING AND SUBBASE MATERIAL, INDICATED TO BE REMOVED, SHALL BE ENTIRELY REMOVED AND REPLACED WITH CLEAN FILL AND TOPSOIL. TOPSOIL SHALL BE INSTALLED TO A DEPTH AS STATED ABOVE.
13. ALL PROPOSED PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR TWO (2) YEARS FROM DATE OF INSTALLATION AND SHALL BE IN A HEALTHY AND VIGOROUS CONDITION. ANY PLANT MATERIAL WHICH DIES WITHIN THAT PERIOD SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL DURING THE NEXT GROWING SEASON.
14. ALL SHADE TREES TO BE PLANTED IN A MULCHED PLANTING RING. SHRUBS, EVERGREEN TREES, AND ORNAMENTAL TREES SHALL BE PLANTED IN PLANTING BEDS.

