



**PLANNING DEPARTMENT**  
Cumberland County

**Cumberland County  
Subdivision and Land Development  
Review Report**

Cumberland County Planning Department  
310 Allen Road, Suite 101  
Carlisle, PA 17013  
Telephone: (717) 240-5362

Municipality:	Date Received:	Date Reviewed:	Reviewed By:	Plan Number:
Silver Spring Township	8/2/2022	8/15/2022	SH, EG, SW	22-092
<i>Plan Title:</i>				
<i>Stephenson Office Building</i>				
<i>Plan Status:</i>		<i>Plan Type:</i>		
<i>Preliminary/Final</i>		<i>Land Development Plan</i>		

*Comments and Recommendations:*

**The 17.31 acre lot shown on this plan is located in Silver Spring Township and Hampden Township. The proposed office building is located entirely in Silver Spring Township. All sections refer to the Silver Spring Township ordinances unless otherwise noted.**

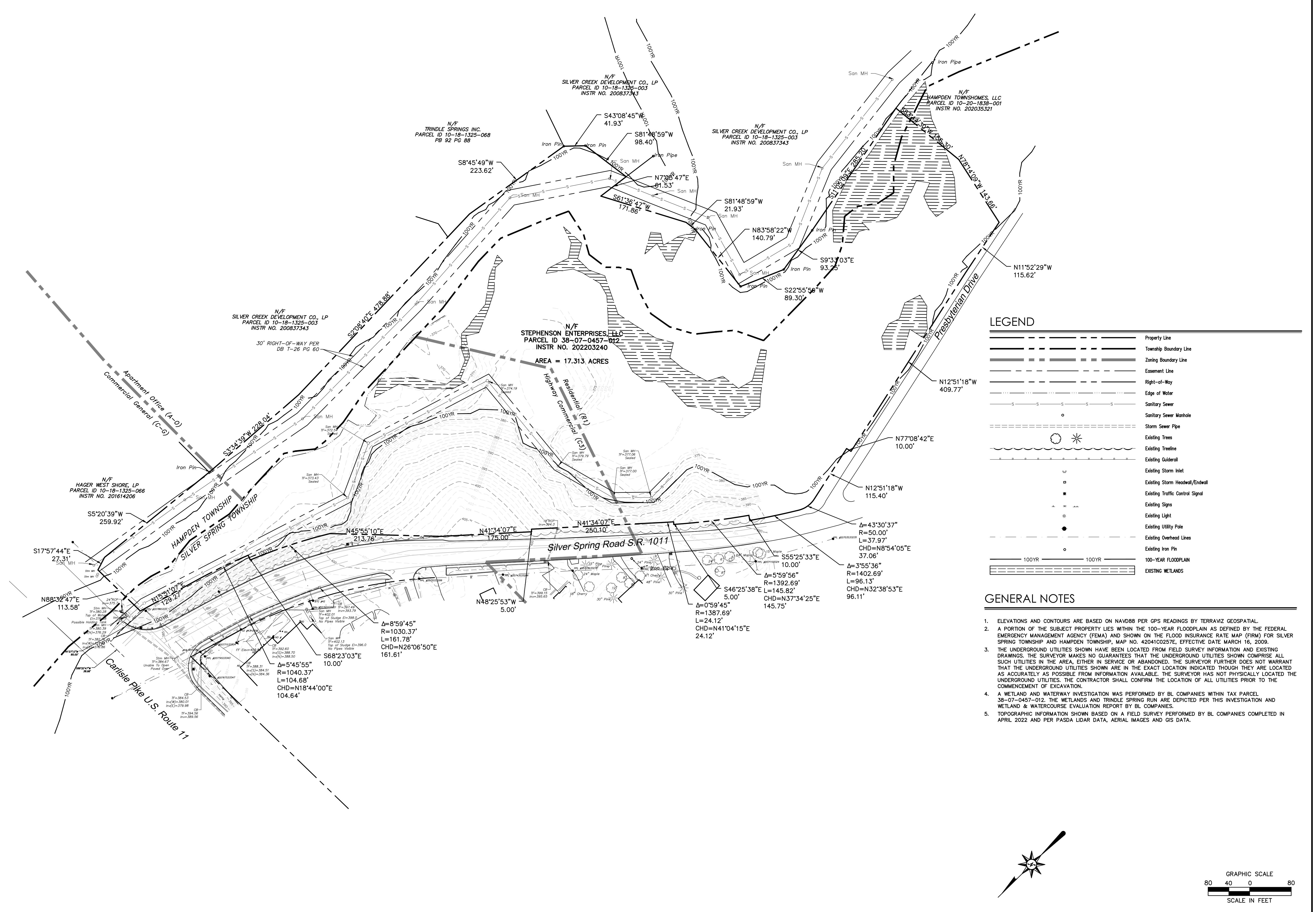
1. The proposed building height should be included in the zoning information (zoning 212.C).
2. The township should determine whether the 35 foot setback from residential zones applies when the use is separated from the residential zone by a street (zoning 212.D.2). It appears that the parking lot may not be set back 35 feet from the Silver Spring Road right-of-way.
3. A recycling dumpster should be provided (zoning 212.D.4).
4. The plan proposes an on lot private well for water supply. What is the projected sewage flow? If the flow is equal to or greater than 1,125 gallons/day, public water is required (zoning 212.D.5).
5. The subtitle on the cover sheet should include the municipalities. In addition, sheets 2-19 should indicate that the site is located in Silver Spring and Hampden Township (Silver Spring SLDO 402.02.2 and Hampden SLDO 402.2.C).
6. The municipal boundary should be included and labeled on the location map (Silver Spring SLDO 402.02.2 and Hampden SLDO 402.2.J).
7. The Cumberland County Planning Commission review block will be signed by the director of planning. The lines for chairman and secretary should be removed (Silver Spring SLDO 403.06.2 and Hampden SLDO 405).
8. The review blocks for township signatures should be clarified (SLDO 403.06.2).
  - a. The 'township engineer review statement' (right side of the cover sheet) should indicate Silver Spring Township.
  - b. The 'planning commission review statement' (right side of the cover sheet) should indicate Silver Spring Township in the title
  - c. The 'final plan approval statement' should indicate Silver Spring Township in the title.

9. A clear sight triangle should be provided at the proposed access. The township should verify that trees, etc. will not interfere with the clear sight (SLDO 602.18.3.H).
10. The required and provided sight distances should be noted on the plan (SLDO 602.18.3.H).
11. The parking information and proposed use should be clarified.
  - a. The parking information indicates that 7,500 sf of the building will be for office use and 5,000 sf will be for commercial use. What commercial activity is proposed? Will additional parking be required (SLDO 603)?
  - b. The township should verify that any of the proposed commercial activities are permitted in the C3 district (zoning 212.B).
12. The township should determine whether the parking lot should include lighting (SLDO 603.14). If applicable, a lighting plan should be submitted including proof of compliance with zoning 302.1.
13. Sidewalk requirements should be addressed on the plan (SLDO 604.01.C).
14. Easements should be provided and shown on the plan for sanitary sewer, water, and stormwater management facilities (SLDO 607).
15. The lot should include a survey monument or marker at each property corner (Silver Spring SLDO 608 and Hampden SLDO 607).
16. The proposed street trees should include a variety of the acceptable trees as listed in the ordinance (SLDO 611.02.D).
17. The plan should address the Pennsylvania DEP sewer planning requirements (SLDO 613).
18. The applicant should provide evidence that delivery trucks, etc. will be able to utilize the paved drive to the lower level and be able to turn around without using the parking spaces.
19. A purpose statement should be provided on the plan.
20. The proposed development is located adjacent to the Trindle Spring Run Greenway as indicated in the Cumberland County Land Partnerships Plan and shown on the Future Land Use Map in the Cumberland County Comprehensive Plan. It is recommended that conservation measures be considered to preserve the natural, cultural and recreation values as appropriate.
21. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording until this information is emailed to [planningreviews@ccpa.net](mailto:planningreviews@ccpa.net)**. Links to online file downloads are acceptable. Applicants are required to provide the following files:
  - **Parcel boundaries**
  - **Lot lines**
  - **Building footprints**
  - **Road rights-of-ways**
  - **Edge of pavement**
  - **Declaration of planned communities/condominiums documents (including amendments)**

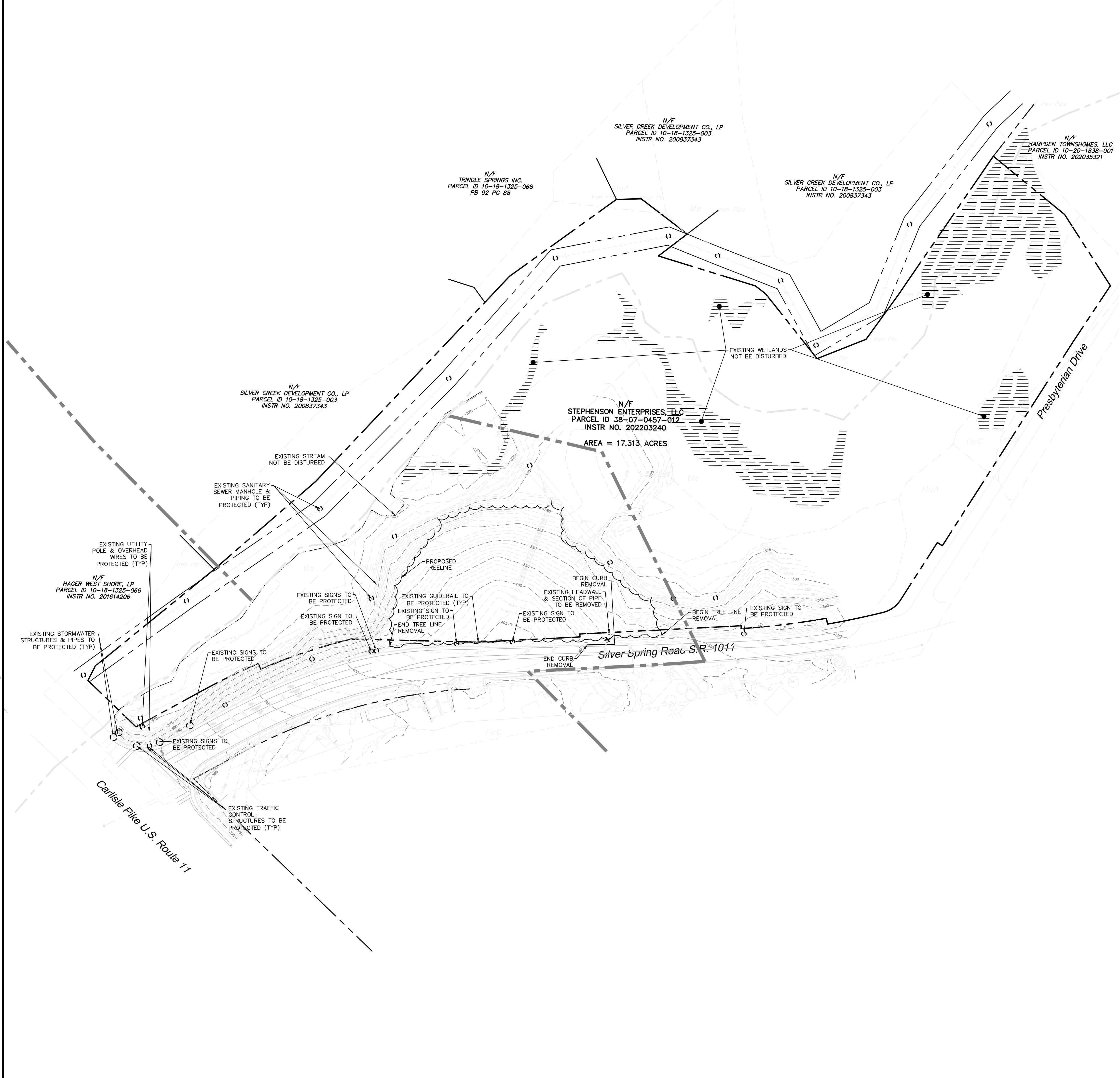


## GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND/OR ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTING AUTHORITY TO CONTROL THE SAFEST METHODS OR MEANS OF WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES, PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA PENNSYLVANIA 111 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSTRUCTION DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
- ALL NOTES AND DIMENSIONS DESIGNATED TYPICAL APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS RECEIVED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY AND MUNICIPAL SOURCES, ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, LANDINGS, DECKS, RAMPS, AND STAIRS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO.428), AS AMENDED, BEFORE ANY IMPROVEMENTS ARE INITIATED WITHIN A STATE HIGHWAY, OR A STREET, ACCESS DRIVE, OR DRIVEWAY INTERSECTION TO A STATE HIGHWAY IS PERMITTED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- TRAFFIC CONTROL SIGNALS SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- PAVEMENT MARKING KEY:
  - 4" SYL 4" SOLID YELLOW DOUBLE LINE
  - 4" SYL 4" SOLID YELLOW LINE
  - 4" SWL 4" SOLID WHITE LINE
  - 12" SWLB 12" SOLID WHITE STOP BAR
  - 4" SWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- ALL PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO STRIPING.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY, STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
- THE PROJECT PARCEL IS LOCATED PARTLY OR WHOLLY WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA.
- THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY WETLANDS DELINEATION PROVIDED BY BL COMPANIES.
- ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STARS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PA ONECALL MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD PRIOR TO THE START OF WORK ON THE SITE.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SITING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE PADEP THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM, MANUAL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.







## DEMOLITION PLAN LEGEND

-----	PROPERTY LINE
-----	LIMIT OF DISTURBANCE
·XXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	EXISTING UTILITY / STORMWATER LINE TO BE REMOVED
X	ITEM TO BE REMOVED
O	ITEM TO BE PROTECTED

18 North Front Street  
ermleysburg, PA 17043  
(717) 723-3326

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ermleysburg, PA 17043  
(717) 723-3326

# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

&lt;div[](https://www.srsilver.com/stephenson-office-building-campbell-sr-0011-silver-spring-road-carlisle-pike-cumberland-county-pa/stephenson-office-building-campbell-sr-0011-silver-spring-road-carlisle-pike-cumberland-county-pa.jpg)

REVISIONS		Description / Reason
No.	Date	
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

Designer	C.J.S.
Drafter	C.J.S.
Reviewer	A.J.D.
Scale	1"=80'
Project No.	220506
Date	08/02/2022
CAD File:	

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Sheet Title

# DEMOLITION PLAN

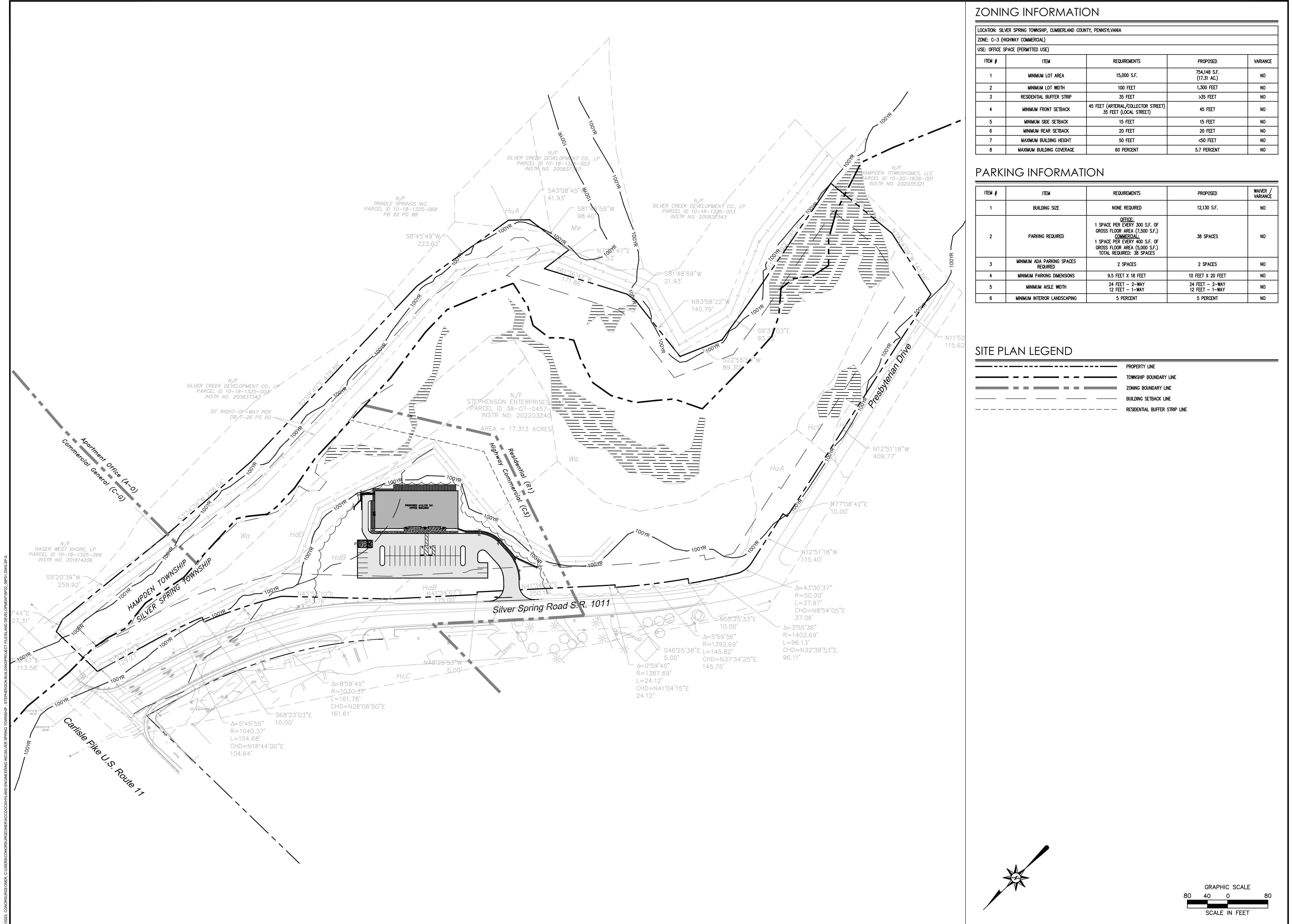
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Sheet Number

DM 1

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**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN**  
**STEPHENSON OFFICE BUILDING**  
**CARLISLE PIKE (S.R. 0011) & SILVER SPRING ROAD (S.R. 1011)**  
**SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PA**

