

PLANNING DEPARTMENT
C u m b e r l a n d C o u n t y

**Cumberland County
Subdivision and Land Development
Review Report**

Cumberland County Planning Department
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Municipality:	Date Received:	Date Reviewed:	Reviewed By:	Plan Number:
Silver Spring Township	8/2/2022	8/15/2022	SH, EG, SW	22-092
Plan Title:				
Stephenson Office Building				
Plan Status:		Plan Type:		
Preliminary/Final		Land Development Plan		
Comments and Recommendations:				

The 17.31 acre lot shown on this plan is located in Silver Spring Township and Hampden Township. The proposed office building is located entirely in Silver Spring Township. All sections refer to the Silver Spring Township ordinances unless otherwise noted.

1. The proposed building height should be included in the zoning information (zoning 212.C).
2. The township should determine whether the 35 foot setback from residential zones applies when the use is separated from the residential zone by a street (zoning 212.D.2). It appears that the parking lot may not be set back 35 feet from the Silver Spring Road right-of-way.
3. A recycling dumpster should be provided (zoning 212.D.4).
4. The plan proposes an on lot private well for water supply. What is the projected sewage flow? If the flow is equal to or greater than 1,125 gallons/day, public water is required (zoning 212.D.5).
5. The subtitle on the cover sheet should include the municipalities. In addition, sheets 2-19 should indicate that the site is located in Silver Spring and Hampden Township (Silver Spring SLDO 402.02.2 and Hampden SLDO 402.2.C).
6. The municipal boundary should be included and labeled on the location map (Silver Spring SLDO 402.02.2 and Hampden SLDO 402.2.J).
7. The Cumberland County Planning Commission review block will be signed by the director of planning. The lines for chairman and secretary should be removed (Silver Spring SLDO 403.06.2 and Hampden SLDO 405).
8. The review blocks for township signatures should be clarified (SLDO 403.06.2).
 - a. The 'township engineer review statement' (right side of the cover sheet) should indicate Silver Spring Township.
 - b. The 'planning commission review statement' (right side of the cover sheet) should indicate Silver Spring Township in the title
 - c. The 'final plan approval statement' should indicate Silver Spring Township in the title.

9. A clear sight triangle should be provided at the proposed access. The township should verify that trees, etc. will not interfere with the clear sight (SLDO 602.18.3.H).
10. The required and provided sight distances should be noted on the plan (SLDO 602.18.3.H).
11. The parking information and proposed use should be clarified.
 - a. The parking information indicates that 7,500 sf of the building will be for office use and 5,000 sf will be for commercial use. What commercial activity is proposed? Will additional parking be required (SLDO 603)?
 - b. The township should verify that any of the proposed commercial activities are permitted in the C3 district (zoning 212.B).
12. The township should determine whether the parking lot should include lighting (SLDO 603.14). If applicable, a lighting plan should be submitted including proof of compliance with zoning 302.1.
13. Sidewalk requirements should be addressed on the plan (SLDO 604.01.C).
14. Easements should be provided and shown on the plan for sanitary sewer, water, and stormwater management facilities (SLDO 607).
15. The lot should include a survey monument or marker at each property corner (Silver Spring SLDO 608 and Hampden SLDO 607).
16. The proposed street trees should include a variety of the acceptable trees as listed in the ordinance (SLDO 611.02.D).
17. The plan should address the Pennsylvania DEP sewer planning requirements (SLDO 613).
18. The applicant should provide evidence that delivery trucks, etc. will be able to utilize the paved drive to the lower level and be able to turn around without using the parking spaces.
19. A purpose statement should be provided on the plan.
20. The proposed development is located adjacent to the Trindle Spring Run Greenway as indicated in the Cumberland County Land Partnerships Plan and shown on the Future Land Use Map in the Cumberland County Comprehensive Plan. It is recommended that conservation measures be considered to preserve the natural, cultural and recreation values as appropriate.
21. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are **required** by the Planning Department prior to or at the time of recording any plan. Please note that **the Planning Department will not sign the plan for recording** until this information is emailed to planningreviews@ccpa.net. Links to online file downloads are acceptable. Applicants are required to provide the following files:
 - **Parcel boundaries**
 - **Lot lines**
 - **Building footprints**
 - **Road rights-of-ways**
 - **Edge of pavement**
 - **Declaration of planned communities/condominiums documents (including amendments)**

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND/OR ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
3. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
4. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
6. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
7. THE CONTRACTOR SHALL COMPLY WITH CDR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
8. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PA PENNSYLVANIA 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
9. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
10. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTORS' AND SUBCONTRACTORS' RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
11. ALL NOTES AND DIMENSIONS DESIGNATED 'TYPICAL' APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
12. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
13. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
14. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY AND MUNICIPAL SOURCES: ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
15. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
16. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, LANDINGS, DECKS, RAMPS, AND STAIRS.
17. IMMEDIATELY FOR UNDIRECTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY ANY DISCREPANCIES BEFORE PROCEEDING FURTHER WITH THIS AREA.
18. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
19. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 42.0 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO.428), AS AMENDED, BEFORE ANY IMPROVEMENTS ARE INITIATED WITHIN A STATE HIGHWAY, OR A STREET, ACCESS DRIVE, OR DRIVEWAY INTERSECTION TO A STATE HIGHWAY IS PERMITTED.
20. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DROPS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
21. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
22. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
23. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
24. PAVEMENT MARKING KEY:
- 4" STD 4" SOLID YELLOW DOUBLE LINE
4" STL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWB 12" SOLID WHITE STOP BAR
4" BWS 4" BROKEN WHITE LINE 10' STRIPS 30' SPACE
25. PARKING SPACES SHALL BE STRIPPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPPED WITH 4" SWL AT 45° ANGLE, 2" ON CENTER. HATCHING, SYMBOLS, AND STIPPLING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
26. ALL PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO STRIPPING.
27. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALES, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
28. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
29. THE PROJECT PARCEL IS LOCATED PARTLY OR WHOLLY WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA.
30. THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY WETLANDS DELINEATION PROVIDED BY BL COMPANIES.
31. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
32. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFA 1 UNIFORM FIRE CODE.
33. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEANING AND GRUBBING OPERATIONS.
34. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
35. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED.
36. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
37. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
38. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
39. NO WORK ON THIS SITE SHALL BE INITIATED BY ANY CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOLOGICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PA ONECAL MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
40. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
41. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
42. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS BY THE GEOTECHNICAL REPORT UNDER ALL PARKING, DRIVING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
43. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD PRIOR TO THE START OF WORK ON THE SITE.
44. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE PADEP THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
45. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
46. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.

4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED SANITARY SEWERS AND WHERE PROPOSED STORM PIPING WILL CROSS EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED SANITARY SEWERS, STORM PIPING AND UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
48. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
49. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM POWER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
50. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
51. ALL EXISTING PAYMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAID OUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
52. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
53. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL, 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
54. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
55. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
56. CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
57. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANUAL.
58. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
59. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT, AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
60. GRAVITY SANITARY SEWER PIPE AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
61. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
62. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FOLLOWING WITH FINAL GRADE AS NECESSARY.
63. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
64. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
65. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL OF THE UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAYMENTS AS NECESSARY.
66. ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE WHERE INDICATED ON THE PLAN. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL CONDUITS FOR TELECOMMUNICATIONS SERVICE, PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC, 40" ON SANITARY, AND 24" ON TELECOMMUNICATIONS CONDITIONS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS, AS APPLICABLE. INSTALL MANHOLEHS AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED MANHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
67. ALL WATER AND/OR SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
68. PIPING SHALL BE LAID FROM DOWNGRADE END OF PIPE RUN IN AN UPGRADE DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
69. POLYVINYL CHLORIDE PIPE (PVC) FOR STORM PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC/P SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC/P SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM-D3231 AND MANUFACTURERS RECOMMENDED PROCEDURE.
70. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
71. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE H-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HOPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASTMS M294, TYPE B. HOPE PIPE SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SULT-LIGHT OR EQUIVALENT CONSTRUCTION METHOD MAY BE USED IF APPROVED BY THE ENGINEER. THE JOINT SHALL BE WATERIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HOPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
72. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESSER THAN 12" IN DIAMETER SHALL BE H-Q PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HOPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASTMS M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SULT-LIGHT OR EQUIVALENT CONSTRUCTION METHOD MAY BE USED IF APPROVED BY THE ENGINEER. THE JOINT SHALL BE WATERIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HOPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
73. POLYVINYL CHLORIDE PIPE (PVC/P) FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC/P SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC/P SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D3231 AND MANUFACTURERS RECOMMENDED PROCEDURE.

DEFINITIONS

MUNICIPALITY SHALL MEAN SILVER SPRING TOWNSHIP

COUNTY SHALL MEAN CUMBERLAND COUNTY

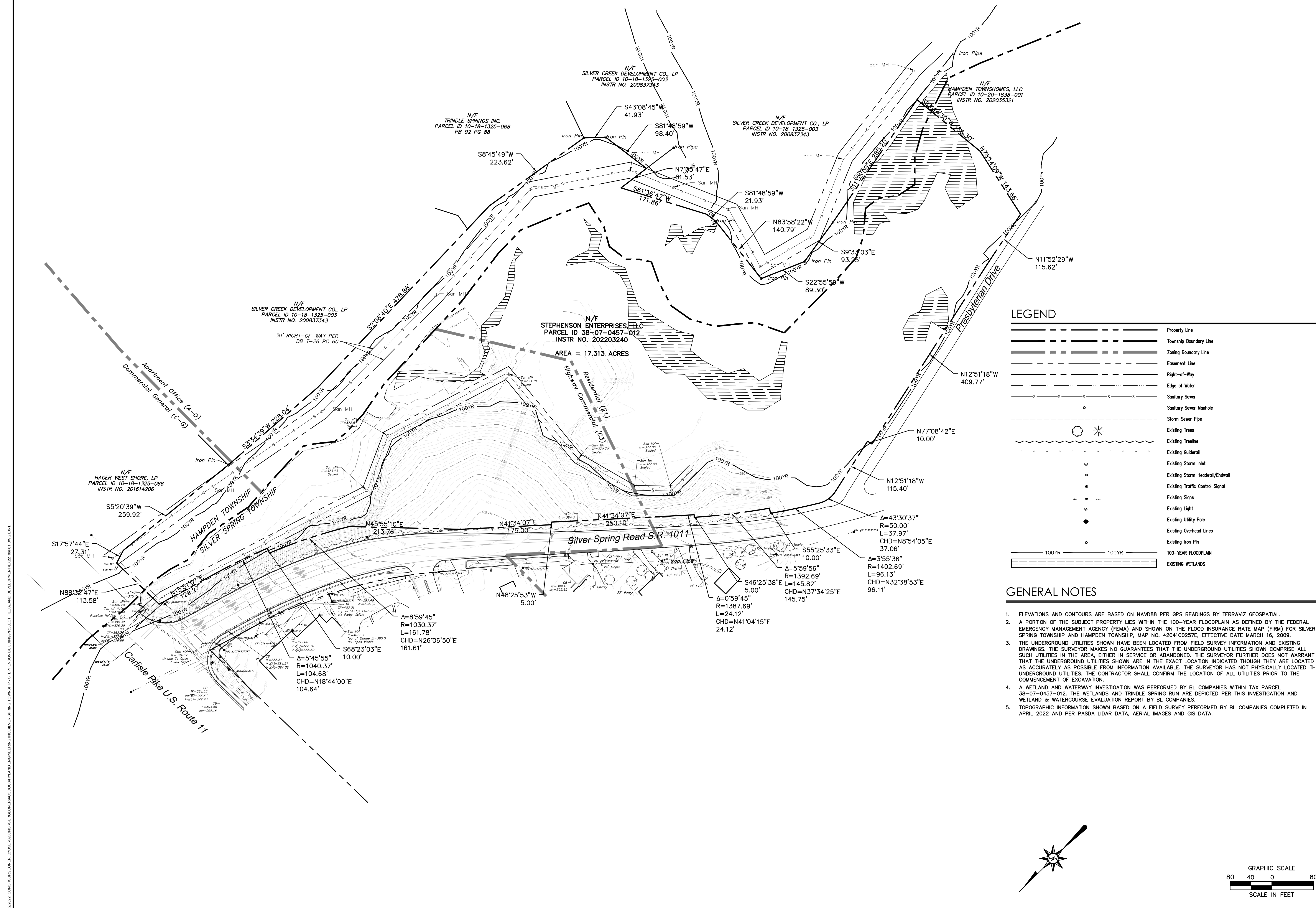
STATE SHALL MEAN PENNSYLVANIA

SANITARY UTILITY PROVIDER SHALL MEAN HAMPDEN TOWNSHIP SEWER AUTHORITY

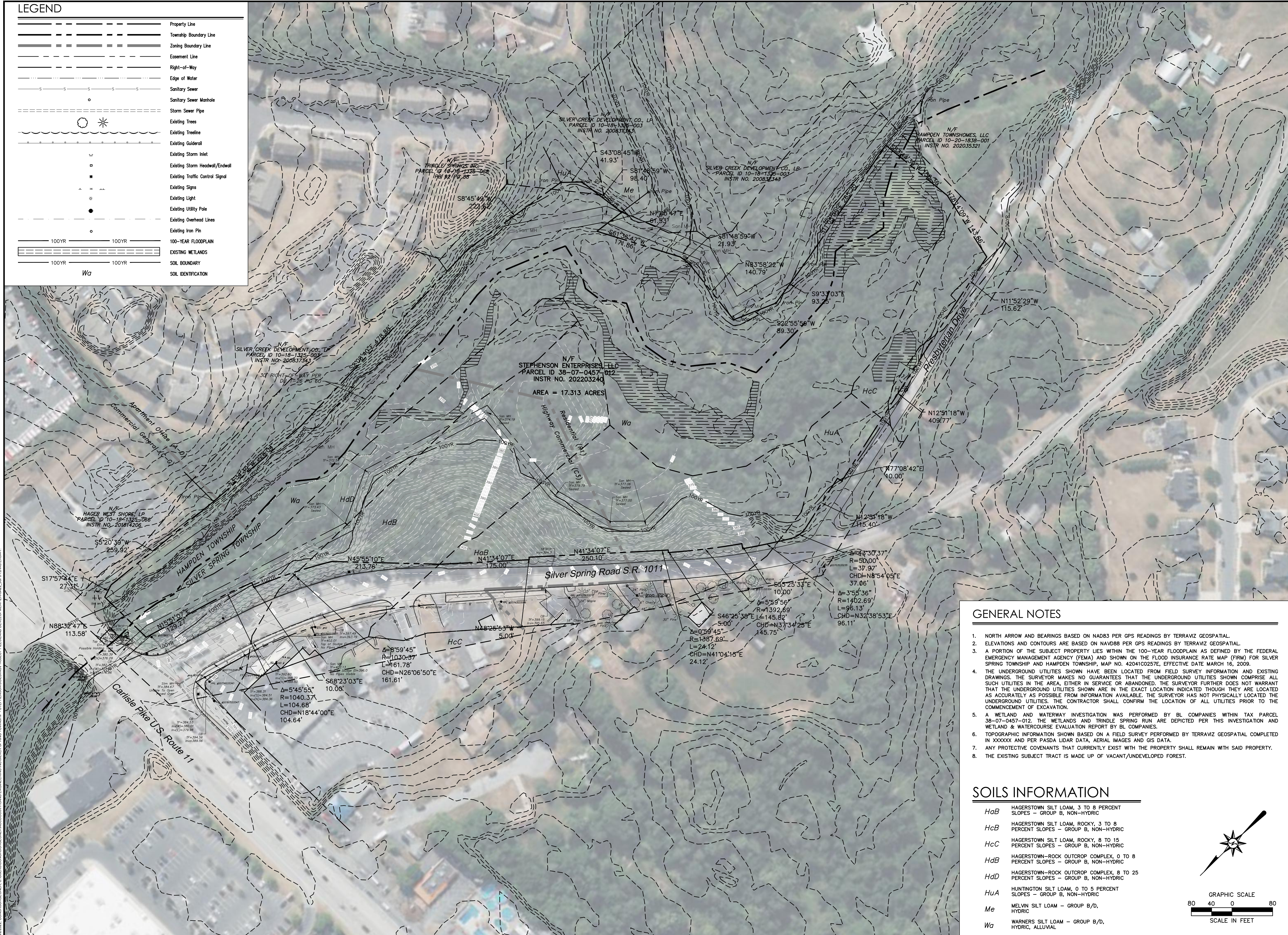
		REVISIONS						Description / Reason
	No.	Date						
Designer	C.J.S.							
Drafter	C.J.S.							
Reviewer	A.J.D.							
Scale	N.T.S.							
Project No.	Z29050							
Date	08/02/2022							
CAD File: GN22_06P01								
Sheet Title GENERAL NOTES								
Sheet Number								

PRELIMINARY/FINAL LAND AND DEVELOPMENT PLAN
STEPHENSON OFFICE BUILDING
CARLISLE PIKE (S.R. 0011) & SILVER SPRING ROAD (S.R. 1011)
SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PA

	Description / Reason
REVISIONS	.
Date	.
No.	.
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Designer	C.
Drafter	C.
Reviewer	A.J.
Scale	1"=
Project No.	2205
Date	08/02/20
CAD File:	EX22_06D01
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Sheet Title	
EXISTING CONDITIONS PLAN	
<hr/>	
Sheet Number	



	Property Line
	Township Boundary Line
	Zoning Boundary Line
	Easement Line
	Right-of-Way
	Edge of Water
	Sanitary Sewer
	Sanitary Sewer Manhole
	Storm Sewer Pipe
	Existing Trees
	Existing Treeline
	Existing Guidrail
	Existing Storm Inlet
	Existing Storm Headwall/Endwall
	Existing Traffic Control Signal
	Existing Signs
	Existing Light
	Existing Utility Pole
	Existing Overhead Lines
	Existing Iron Pin
	100-YEAR FLOODPLAIN
	EXISTING WETLANDS
	SOIL BOUNDARY
	SOIL IDENTIFICATION

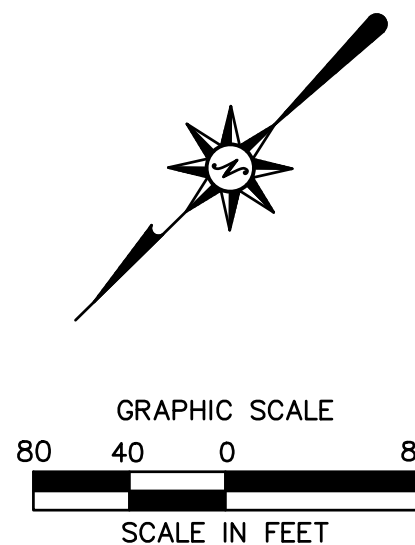


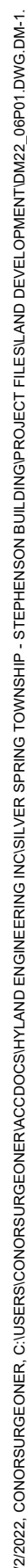
GENERAL NOTES

1. NORTH ARROW AND BEARINGS BASED ON NAD83 PER GPS READINGS BY TERRAVZ GEOSPATIAL.
2. ELEVATIONS AND CONTOURS ARE BASED ON NAVD88 PER GPS READINGS BY TERRAVZ GEOSPATIAL.
3. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR SILVER SPRING TOWNSHIP AND HAMPTON TOWNSHIP, MAP NO. 42041C0257E, EFFECTIVE DATE MARCH 16, 2009.
4. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.
5. A WETLAND AND WATERWAY INVESTIGATION WAS PERFORMED BY BL COMPANIES WITHIN TAX PARCELS 38-07-0457-012. THE WETLANDS AND TRINDLE SPRING RUN ARE DEPICTED PER THIS INVESTIGATION AND WETLAND & WATERCOURSE EVALUATION REPORT BY BL COMPANIES.
6. TOPOGRAPHIC INFORMATION SHOWN BASED ON A FIELD SURVEY PERFORMED BY TERRAVZ GEOSPATIAL COMPLETED IN XXXXXX AND PER PASDA LIDAR DATA, AERIAL IMAGES AND GIS DATA.
7. ANY PROTECTIVE COVENANTS THAT CURRENTLY EXIST WITH THE PROPERTY SHALL REMAIN WITH SAID PROPERTY.
8. THE EXISTING SUBJECT TRACT IS MADE UP OF VACANT/UNDEVELOPED FOREST.

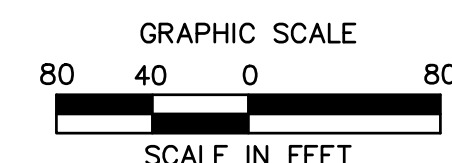
SOILS INFORMATION

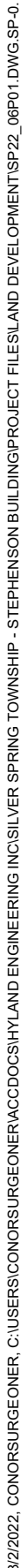
<i>HaB</i>	HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES - GROUP B, NON-HYDRIC
<i>HcB</i>	HAGERSTOWN SILT LOAM, ROCKY, 3 TO 8 PERCENT SLOPES - GROUP B, NON-HYDRIC
<i>HcC</i>	HAGERSTOWN SILT LOAM, ROCKY, 8 TO 15 PERCENT SLOPES - GROUP B, NON-HYDRIC
<i>HdB</i>	HAGERSTOWN-ROCK OUTCROP COMPLEX, 0 TO 8 PERCENT SLOPES - GROUP B, NON-HYDRIC
<i>HdD</i>	HAGERSTOWN-ROCK OUTCROP COMPLEX, 8 TO 25 PERCENT SLOPES - GROUP B, NON-HYDRIC
<i>HuA</i>	HUNTINGTON SILT LOAM, 0 TO 5 PERCENT SLOPES - GROUP B, NON-HYDRIC
<i>Me</i>	MELVIN SILT LOAM - GROUP B/D, HYDRIC
<i>Wa</i>	WARNERS SILT LOAM - GROUP B/D, HYDRIC, ALLUVIAL





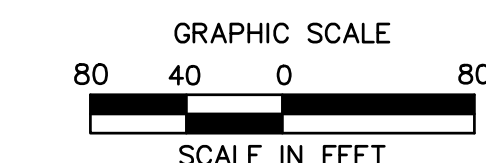
		PROPERTY LINE
		LIMIT OF DISTURBANCE
		EXISTING UTILITY / STORMWATER LINE TO BE REMOVED
		ITEM TO BE REMOVED
		ITEM TO BE PROTECTED

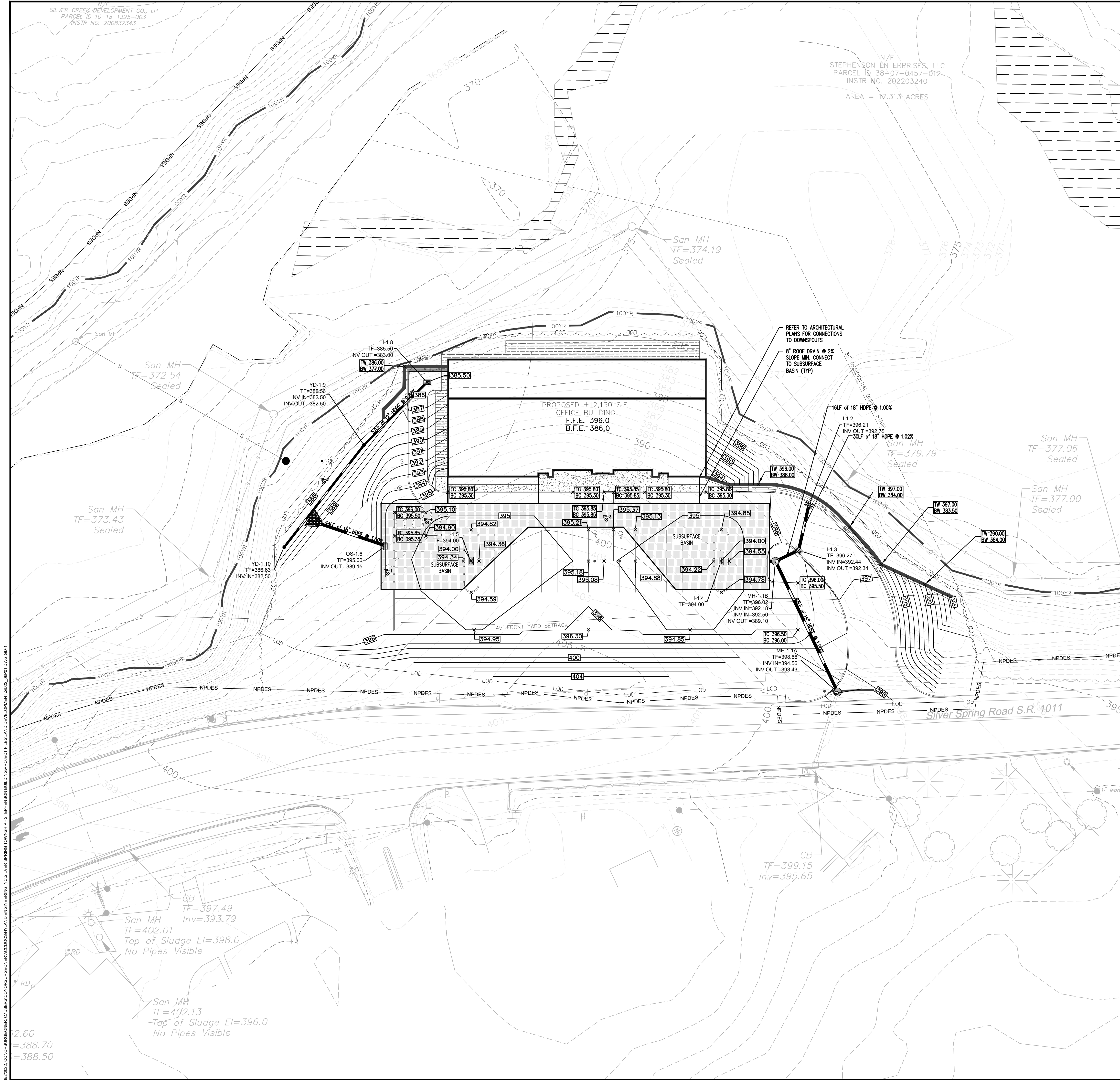




LOCATION: SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA				
ZONE: C-3 (HIGHWAY COMMERCIAL)				
USE: OFFICE SPACE (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	15,000 S.F.	754,148 S.F. (17.31 AC)	NO
2	MINIMUM LOT WIDTH	100 FEET	1,300 FEET	NO
3	RESIDENTIAL BUFFER STRIP	35 FEET	>35 FEET	NO
4	MINIMUM FRONT SETBACK	45 FEET (ARTERIAL/COLLECTOR STREET) 35 FEET (LOCAL STREET)	45 FEET	NO
5	MINIMUM SIDE SETBACK	15 FEET	15 FEET	NO
6	MINIMUM REAR SETBACK	20 FEET	20 FEET	NO
7	MAXIMUM BUILDING HEIGHT	50 FEET	<50 FEET	NO
8	MAXIMUM BUILDING COVERAGE	60 PERCENT	5.7 PERCENT	NO

ITEM #	ITEM	REQUIREMENTS	PROPOSED	WAVEN / VARIANCE
1	BUILDING SIZE	NONE REQUIRED	12,130 S.F.	NO
2	PARKING REQUIRED	OFFICE: 1 SPACE PER EVERY 300 S.F. OF GROSS FLOOR AREA (7,500 S.F.) COMMERCIAL: 1 SPACE PER EVERY 400 S.F. OF GROSS FLOOR AREA (5,000 S.F.) TOTAL REQUIRED: 38 SPACES	38 SPACES	NO
3	MINIMUM ADA PARKING SPACES REQUIRED	2 SPACES	2 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	9.5 FEET X 18 FEET	10 FEET X 20 FEET	NO
5	MINIMUM AISLE WIDTH	24 FEET – 2-WAY 12 FEET – 1-WAY	24 FEET – 2-WAY 12 FEET – 1-WAY	NO
6	MINIMUM INTERIOR LANDSCAPING	5 PERCENT	5 PERCENT	NO





GRADING AND DRAINAGE PLAN LEGEND

---	---	PROPERTY LINE
---	---	LIMIT OF DISTURBANCE
---	---	PROPOSED STORM CONVEYANCE LINE
---	---	PROPOSED CATCH BASIN
---	---	PROPOSED STORM MANHOLE
---	---	PROPOSED FLARED END SECTION
---	---	PROPOSED ENDWALL OR HEADWALL
---	---	PROPOSED MAJOR CONTOUR
---	---	PROPOSED MINOR CONTOUR
---	---	PROPOSED SPOT ELEVATION
---	---	ABBREVIATIONS
---	---	TC = TOP OF CURB
---	---	BC = BOTTOM OF CURB
---	---	TW = TOP OF WALL
---	---	BW = BOTTOM OF WALL
---	---	PROPOSED SURFACE SLOPE

OPERATION & MAINTENANCE OF BMPs

- THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED SUBSURFACE MRC BASIN, INFILTRATION TRENCH, AND COLLECTION/CONVEYANCE SYSTEM. THE AFOREMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PERMIT APPLICANT (PERMITTEE).
- ALL PCSM BMPs WILL BE INSPECTED ACCORDING THE TO THE SCHEDULES LISTED BELOW. A WRITTEN REPORT MUST BE COMPLETED DOCUMENTING EACH INSPECTION AND ANY REPAIR, REPLACEMENT, OR MAINTENANCE ACTIVITY.
- SOIL, TRASH, DEBRIS, OR OTHER MATERIALS REMOVED FROM PCSM BMPs SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO WASTES, UNUSED BUILDING MATERIALS, OR OTHER MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL DAMAGED OR NON-FUNCTIONAL BMPs SHALL BE REPAIRED IMMEDIATELY. ANY PCSM BMPs THAT CANNOT BE REPAIRED MUST BE REPLACED AS SOON AS PRACTICABLE.
- THE PERMIT APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT STORMWATER FACILITIES LOCATED ON THE SUBJECT PROPERTY. PERMANENT MAINTENANCE OF THE STORM SYSTEM AFTER ACCEPTANCE WILL PRIMARILY CONSIST OF ROUTINE CLEANING OF ACCUMULATED SEDIMENT AND DEBRIS BY FACILITIES STAFF OR PRIVATE CONTRACTORS. THE SPECIFIC MAINTENANCE STEPS AND SCHEDULES ARE LISTED BELOW:

INFILTRATION TRENCH

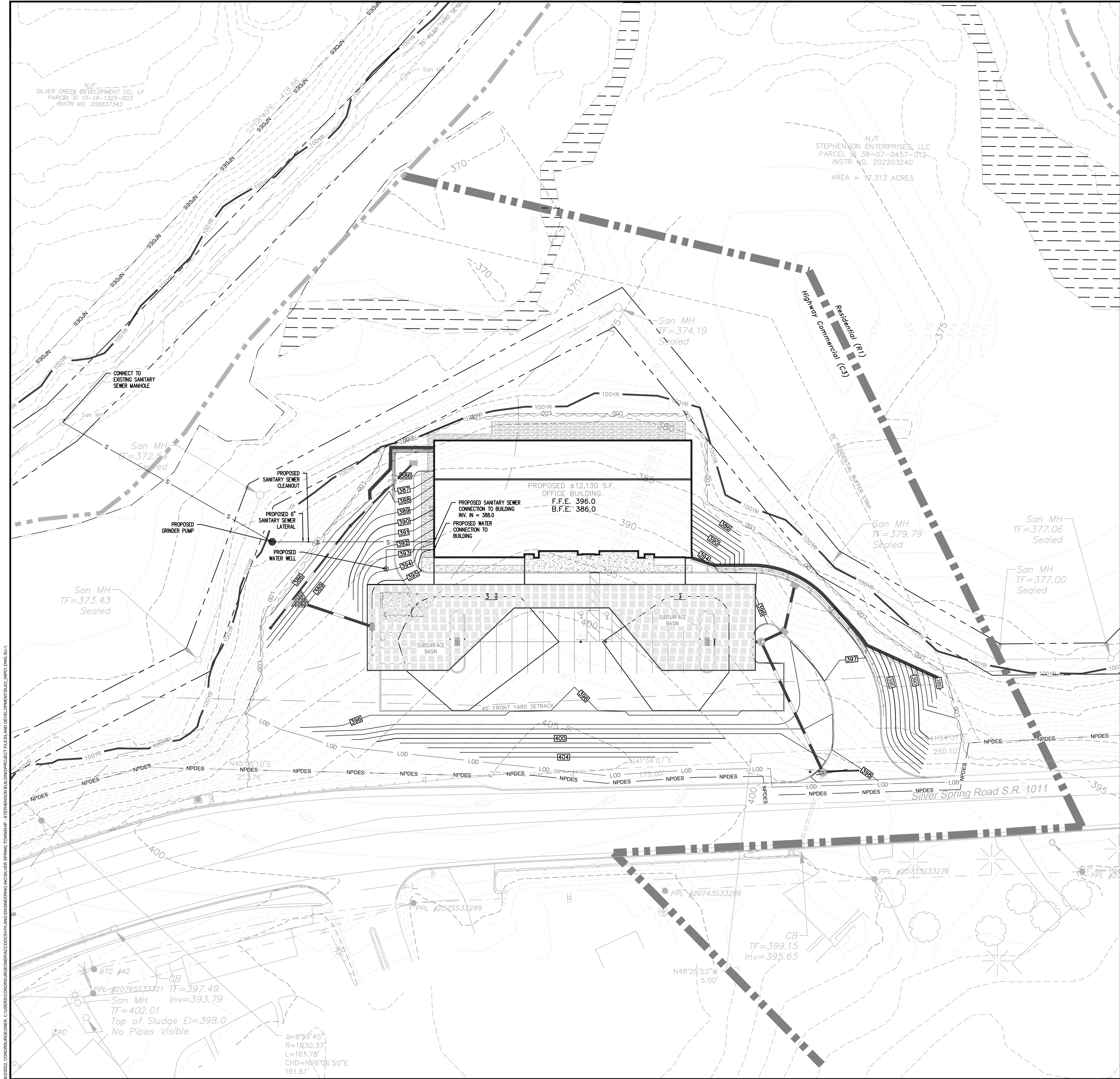
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
REMOVE SEDIMENT & OIL/GREASE FROM PRETREATMENT DEVICES & OVERFLOW STRUCTURES. VEGETATION ALONG SURFACE OF TRENCH SHOULD BE MAINTAINED IN GOOD CONDITION & ANY BARE SPOTS SHOULD BE REVEGETATED AS SOON AS POSSIBLE.	AS NEEDED
CHECK OBSERVATION WELLS FOLLOWING 3 DAYS OF DRY WEATHER. FAILURE TO PERCOLATE WITHIN THIS TIME PERIOD INDICATES CLOGGING. INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR SEDIMENT BUILD-UP AND STRUCTURAL DAMAGE.	SEMI-ANNUAL
CATCH BASINS & INLETS SHOULD BE INSPECTED AND CLEANED	TWICE PER YEAR
GENERAL MAINTENANCE NOTES: VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON THE TRENCH AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.	

STORMWATER COLLECTION/CONVEYANCE

OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
INLETS & CATCH BASINS SHOULD BE CLEANED OF DEBRIS. IF TRASH OR DEBRIS IS DISCOVERED, REMOVED FROM FACILITIES. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE.	CLEAN ONCE PER YEAR & REPAIR AS NEEDED
INSPECT OUTFALL STRUCTURES FOR DEBRIS, CLOGGING, AND FUNCTIONALITY. IF PROBLEM ARISES, REMOVE DEBRIS, UNCLUG WITH VACUUM AND/OR CONTACT SITE ENGINEER, RESPECTIVELY. INSPECTION SHALL OCCUR QUARTERLY WITHIN FIRST YEAR AND ONCE PER YEAR THEREAFTER.	QUARTERLY & ONCE PER YEAR
INSPECT COLLECTION/CONVEYANCE SYSTEMS FOR DEBRIS, CLOGGING, AND FUNCTIONALITY. IF PROBLEM ARISES, REMOVE DEBRIS, UNCLUG WITH VACUUM AND/OR CONTACT SITE ENGINEER, RESPECTIVELY. INSPECTION SHALL OCCUR BIANNUALLY AT A MINIMUM.	TWICE PER YEAR
GENERAL MAINTENANCE NOTES: 1. VACTOR TRUCKS MAY BE AN EFFICIENT CLEANING MECHANISM. 2. CATCH BASINS SHOULD BE CLEANED BEFORE HALF FULL.	

SUBSURFACE BASIN

OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
OVERLYING VEGETATION SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS RE-VEGETATED	AS NEEDED
ALL CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED	TWICE PER YEAR
GENERAL MAINTENANCE NOTES: VEHICULAR ACCESS SHOULD BE PROHIBITED, & CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. IF ACCESS IS NEEDED, USE OF PERMEABLE, TURF REINFORCEMENT SHOULD BE CONSIDERED.	



SITE UTILITIES PLAN LEGEND

---	LOD	---	LOD	---	PROPERTY LINE
---	W	---	W	---	LIMIT OF DISTURBANCE
---	S	---	S	---	PROPOSED WATER LINE
---	S	---	S	---	PROPOSED WATER WELL
---	S	---	S	---	PROPOSED SANITARY SEWER LINE

GRAPHIC SCALE

30 15 0 30

SCALE IN FEET

718 North Front Street
Wormleysburg, PA 17043
(717) 723-3326

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

STEPHENSON OFFICE BUILDING

CARLISLE PIKE (S.R. 0011) & SILVER SPRING ROAD (S.R. 1011)

SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS	
No.	Description / Reason

Designer	C.J.S.
Drafter	C.J.S.
Reviewer	A.J.D.
Scale	1"=30'
Project No.	220506
Date	08/02/2022

CAD File: SU22_06P01

Sheet Title

SITE UTILITY PLAN

Sheet Number

SU-1

9 OF 19